

AGENDA
MUNICIPAL PLANNING COMMISSION
COUNTY OF NORTHERN LIGHTS
MONDAY, OCTOBER 07, 2024 at 11:00 A.M.

<https://us02web.zoom.us/j/82392300114?pwd=4sPFRMbTo5OqNEFKtpaaS014i3bTMo.1>

01.0 CALL TO ORDER

02.0 ADOPTION OF THE AGENDA

03.0 ADOPTION OF THE MINUTES

A) Tuesday, September 24, 2024 Municipal Planning Commission Meeting Minutes

04.0 PLANNING AND DEVELOPMENT

A) Development Permits – Issued by the Development Officer

B) Development Permits – To Be Issued or Discussed by MPC

1) DP-24-29 Hawkview Ag Ltd.

2) DP-24-36 Toker

3) DP-24-35 Kolman

C) Miscellaneous

05.0 ADJOURNMENT

MINUTES
MUNICIPAL PLANNING COMMISSION
COUNTY OF NORTHERN LIGHTS
TUESDAY, SEPTEMBER 24, 2024 at 11:00 A.M.

<https://us02web.zoom.us/j/89721521803?pwd=pzrTQL6Dkfz3WqzZlakn65Ska7XYnJ.1>

PRESENT:

Gary These	Ward One	Weberville/Stewart
Kayln Schug	Ward Two	Warrens ville/Lac Cardinal
Brenda Yasinski	Ward Three	Dixonville/Chinook Valley
Brent Reese	Ward Four	Deadwood/Sunny Valley
Gloria Dechant	Ward Five	North Star/Breaking Point
Terry Ungarian	Ward Six	Hotchkiss/Hawk Hills
Linda Halabisky	Ward Seven	Keg River/Carcajou (virtual)

IN ATTENDANCE:

Gerhard Stickling – Chief Administrative Officer
Charles Schwab – Director of Public Works
Josh Hunter – Director of Finance
Teresa Tupper – Executive Assistant/ Recorder
Dan Archer – Mile Zero Banner Post Reporter
Natalie Tremblay - Community Planner, ISL Engineering and Land Services Ltd. (virtually)
Debbie Bonnett - Planning and Development Officer, ISL Engineering and Land Services Ltd. (virtually)

01.0 CALL TO ORDER

Chair called the Tuesday, September 24, 2024 Municipal Planning Commission Meeting to order at 9:47 a.m.

02.0 ADOPTION OF THE AGENDA

036/24/09/24MPC **MOVED BY** Councillor Schug to acknowledge receipt of the Tuesday, September 24, 2024 Municipal Planning Commission Agenda and adopt it as presented.
CARRIED

03.0 ADOPTION OF THE MINUTES

A) Tuesday, August 27, 2024 Municipal Planning Commission Meeting Minutes

037/24/09/24MPC MOVED BY Councillor Yasinski to acknowledge receipt of the Tuesday, August 27, 2024 Municipal Planning Commission Meeting minutes and adopt them as presented.
CARRIED

04.0 PLANNING AND DEVELOPMENT

A) Development Permits – Issued by the Development Officer

1) *DP-24-30 Brad and Brenda Reinders*

2) *DP-24-38 Scott Leitch*

038/24/09/24MPC MOVED BY Councillor Dechant to acknowledge receipt of the Development Permits DP-24-30 and DP-24-38; issued by the Development Officer and accept them for information.
CARRIED

B) Development Permits – To Be Issued or Discussed by MPC

1) *DP-24-33 Diesel*

039/24/09/24MPC MOVED BY Councillor Reese to acknowledge receipt of the Development Permit Application DP-24-33, to develop a detached, fully serviced garage on SE-16-84-23-W5M. As the application does not meet Section I1.1 and Section I1.6 of the County's Land Use Bylaw, a variance is granted to build the accessory structure in the front yard of the parcel and a variance is granted to allow for the 6.9 m (22.5ft) height of the building.
CARRIED

040/24/09/24MPC MOVED BY Councillor These to approve Development Permit Application DP-24-33, subject to the following eight (8) conditions:
1. The proposed development shall be situated on the lot in accordance with the approved site plan.
2. The owner/developer shall comply with the uses and regulations of Country Residential General (CR1) District.
3. The owner/developer shall contact an accredited agency contracted by Municipal Affairs to obtain the following permits or approval applicable: Building Permit – Provincial
Plumbing Permit – Gas Permit – Electrical Permit. A copy of the approved permits must be submitted to the County of Northern Lights for their files.

4. The owner/developer shall acquire all regulatory approvals required by affected agencies.

5. The applicant/owner may be required to enter into a development agreement with the County if upgrades to the existing access is required and shall consult with County of Northern Lights Public Works Department when installing culverts to ensure the approaches are constructed in accordance with County standards. Any costs incurred will be the responsibility of the applicant/owner.

6. Exterior finish to be wood, metal or similar siding, brick or stucco to the satisfaction of the Development Authority. The finish and appearance should complement other structures and natural site features.

7. The owner/developer shall comply with setbacks as per Alberta Private Sewage System Standards.

8. No further development or construction shall be allowed without an approved Development Permit.

CARRIED

C) Miscellaneous

05.0 ADJOURNMENT

Chair Ungarian adjourned the Tuesday, September 27, 2024 Municipal Planning Commission Meeting at 9:52 a.m.

Chair, Terry Ungarian

CAO, Gerhard Stickling

Date Signed



Memorandum

Integrated Expertise. Locally Delivered.



7909 – 51 Avenue NW, Edmonton, AB T6E 5L9 T: 780.438.9000 F: 780.438.3700

To: **Reeve and Council – County of Northern Lights** Date: **October 7, 2024**
Attention: **Mr. Gerhard Stickling, Chief Administrative Officer** Project No.: **16613**
Cc: **David Schoor**
Reference: **DP-24-29 Hawkview Ag Ltd.**
From: **Debbie Bonnett**

Application

The applicant proposes to construct a new fertilizer blending plant in conjunction with fertilizer storage and sales on Lot 7, Block 1, Plan 002 2902 on part of the SW3-92-23 W5M. The lot is 2.35 ha (5.82 ac) in area and is regulated by Zone 1 of the Airport Protection (AP) District. The proposed development is defined as "Manufacturing and Fertilizer Storage and Sales, and listed as a discretionary use within this district. The overall height of the blending plant will be 70 ft.

Site and Surrounding Lands

The proposed development is located approximately 1.0 kilometer north of Manning, 108 meters east of Highway 35, and 330 m southeast of the Manning Airport.

The site has a soil classification of 100% Class 2 "Moderate limitations", subclass C "Adverse Climate" which is considered Better Agricultural Land as per the definition in the Municipal Development Plan.

The parcel is not within any historical value (HRV) classified designation, Key Wildlife Biodiversity Zone or in an environmentally sensitive area, however it is within a sensitive wildlife area (Grizzly Bear).

Access and Servicing

The site is accessed via Krause Avenue, which is located to the west of the property.

There are low pressure gas lines owned by North Peace Gas Co-op servicing each lot in the quarter section. There is a high pressure gas line also owned by North Peace Gas Co-op running north/south through the lot and appears to be located under an existing building on the lot and the proposed plant. The applicant will need to relocate the services. There are no well sites or spills within the quarter section.

The site is serviced with municipal water and sewer networks.

Compliance with Approved Plans and Land Use Compatibility

The site falls within the Town of Manning Intermunicipal Development Plan (IDP) and the North Manning Area Structure Plan (ASP). The proposed Manufacturing and Fertilizer Storage and Sales meets the policies of the IDP and ASP.



The proposed development was reviewed against the County's Municipal Development Plan (MDP) and LUB and relevant Provincial legislation. The Manufacturing and Fertilizer Storage and Sales conform to Policy 4.2.3 of the MDP, which allows agricultural industries on agricultural lands. The proposed development also meets the regulations outlined in sections K12 Airport Protection (AP) District of the LUB.

Circulation Comments

The Development Permit application was circulated to various affected agencies and adjacent landowners.

Alberta Transportation and Economic Corridors offers the following comments and observations with respect to the proposed development(s):

- The proposed development falls within the Development Control zone, and a Roadside Development Permit from Transportation will be required.
- Prior to permitting, Transportation would have the following questions:
 - Is the Agri business already operating and if so, what services are being provided?
 - What is the expected traffic generation from the fertilizer plant?

A condition has been created to reflect these comments.

No concerns from any other referral comments we received.

Recommendation

It is recommended that this application for a Manufacturing and Fertilizer Storage and Sales (Fertilizer Blending Plant, including storage and sales) on Lot 7, Block 1, Plan 002 2905 on part of the SW3-92-23-W5M be **APPROVED** subject to the following conditions:

1. The development shall proceed in accordance with the approved site plan and proposal details and comply with the development standards of the Airport Protection (AP) District and of the Land Use Bylaw.
2. That the applicant/owner obtain a Roadside Development Permit from Alberta Transportation as the development (and parcel) is adjacent to Highway 35.
3. The applicant/owner enter into a Road Use Agreement with the County, if required.
4. The applicant/owner may be required to enter into a development agreement with the County, not limited to upgrades to the existing access(es), and shall consult with County of Northern Lights Public Works Department when installing culverts to ensure the approaches are constructed in accordance with County standards.
5. The owner/developer shall acquire all regulatory approvals required by affected agencies, including the provision of servicing in accordance with provincial standards of practice;



Memorandum

Integrated Expertise. Locally Delivered.



6. The applicant/owner shall contact an accredited agency contracted by Municipal Affairs to obtain the following applicable permits and inspections, as required:
 - a. Provincial Plumbing or PSDS Permit,
 - b. Gas Inspection Permit,
 - c. Building Permit,
 - d. Electrical Permit, and
 - e. Safety Codes Permits.
7. No further development or construction be allowed without an approved Development Permit.



DEVELOPMENT PERMIT APPLICATION FORM A

"An Agriculture Based Community"

FOR ADMINISTRATIVE USE	
APPLICATION NO.	DP-24-29
DATE RECEIVED	July 10, 2024
ROLL NO.	312622

County of Northern Lights, # 600, 7th Ave. NW Box 10, Manning, AB, T0H 2M0
W: www.countyofnorthernlights.com | E: development@countyofnorthernlights.com | T: (780) 836-3348 | F: (780) 836-3663

I / We hereby make application under the provisions of the Land Use Bylaw for a Development Permit in accordance with the plans and supporting information submitted herewith and form part of this application. I / We understand that this application will not be accepted without the following:

- (a) application fee;
- (b) site plan sketch that includes all relevant detail to the proposed development (e.g.: proposed and existing structures, property lines, creeks/ravines, parking and vehicle access, building plans, etc.)

APPLICANT INFORMATION	COMPLETE IF DIFFERENT FROM APPLICANT
NAME OF APPLICANT HAWKVIEW AG LTD.	NAME OF REGISTERED OWNER
	ADDRESS
	POSTAL CODE
	EMAIL ADDRESS* cc: Michael@hawkviewag.com you agree to receive correspondence by email.
	PHONE (CELL) 405-472-2465 PHONE (RES) PHONE (BUS)

LAND INFORMATION	
Municipal Address (if applicable): 5A/5B 232 074 TWP RD 920, MANNING	
Legal description (if applicable): Registered Plan: _____ Block: _____ Lot (parcel): _____	
QTR/LS: _____ Section: _____ Township: _____ Range: _____ Meridian: _____	
Size of the Parcel to be developed _____ ☐ Acres or ☐ Hectares	
Description of the existing use of the land: _____	
Proposed Development: FERTILIZER BLENDING PLANT FOR OUR AG RETAIL.	
Circle any proposed uses(s): ☐ SIGN(S) ☐ CULVERT(S)/ ROAD ACCESS POINT(S) ☐ PUBLIC USE(S)/ UTILITIES ☐ DWELLING UNIT(S) ☐ ACCESSORY STRUCTURE(S)/ USE(S) ☐ SHED/GARAGE/BARN(S) ☐ HOME BASED BUSINESS ☒ COMMERCIAL OR INDUSTRIAL STRUCTURE(S)/ USES(S) ☐ OTHER (SPECIFY)	
Estimated:	Date of Commencement: Sept. 1/24 Date of Completion: OCT. 15/24 Value of Construction: \$ 3 million

04.B.1

PROPOSAL INFORMATIONDEVELOPMENT IS: ☒ NEW ☐ EXISTING ☐ ALTERATION TO EXISTINGLAND IS ADJACENT TO: ☐ PRIMARY HIGHWAY ☒ LOCAL ROAD ☐ INTERNAL SUBDIVISION ROAD ☐ OTHER

LOT AREA: _____ LOT WIDTH: _____ LOT LENGTH: _____ PERCENTAGE OF LOT OCCUPIED: _____%

PRINCIPAL BUILDING SETBACK: FRONT: _____ REAR: _____ SIDES: _____ / _____ HEIGHT _____

ACCESSORY BUILDING SETBACK: FRONT: _____ REAR: _____ SIDES: _____ / _____ HEIGHT _____

ADDITIONAL INFORMATION INCLUDED☒ SITE PLAN ☐ FLOOR PLAN ☐ LAND TITLE ☐ ABANDONED OIL WELL DECLARATION SIGNED☐ ALBERTA NEW HOME WARRANTY / OR PROOF OF EXEMPTION ☐ DISTANCE TO ROAD / HIGHWAY _____**ADDITIONAL INFORMATION AS REQUIRED:**☐ ELEVATIONS ☐ SOIL TESTS ☒ HOURS OF OPERATION 7am - 7pm daily☐ NUMBER OF DWELLING UNITS _____ ☒ NUMBER OF EMPLOYEES 6☒ PROPOSED BUSINESS ACTIVITIES FERTILIZER BLENDING FACILITY FOR OUR INDEPENDENT AG RETAIL BUSINESS.☐ LANDOWNER LETTER OF AUTHORIZATION ☐ ADJACENT LANDOWNER LETTERS OF SUPPORT**MANUFACTURED HOME (MOBILE HOME)**

SERIAL NUMBER: _____ YEAR BUILT: _____ SIZE: WIDTH _____ LENGTH _____

DECLARATION

I/WE HEREBY AUTHORIZE REPRESENTATIVES OF THE COUNTY TO ENTER MY/OUR LAND FOR THE PURPOSE OF CONDUCTING A SITE INSPECTION IN CONNECTION WITH THIS APPLICATION

I/WE HEREBY DECLARE THAT THE ABOVE INFORMATION IS, TO THE BEST OF MY/OUR KNOWLEDGE, FACTUAL AND CORRECT

NOTE:Signature of Registered
Landowner required if different
from ApplicantJuly 4/24
Date[Signature]
SIGNATURE OF APPLICANT_____
Date_____
SIGNATURE OF REGISTERED LANDOWNER / LEASEHOLDER**FOR ADMINISTRATIVE USE**LAND USE DISTRICT: Airport Protection - Zone 1FEE ENCLOSED: YES ☐ NO ☐ AMOUNT: \$ 100.00 RECEIPT NO.: 208909

DEFINED USE: _____

PERMITTED/DISCRETIONARY: _____

VARIANCE: _____

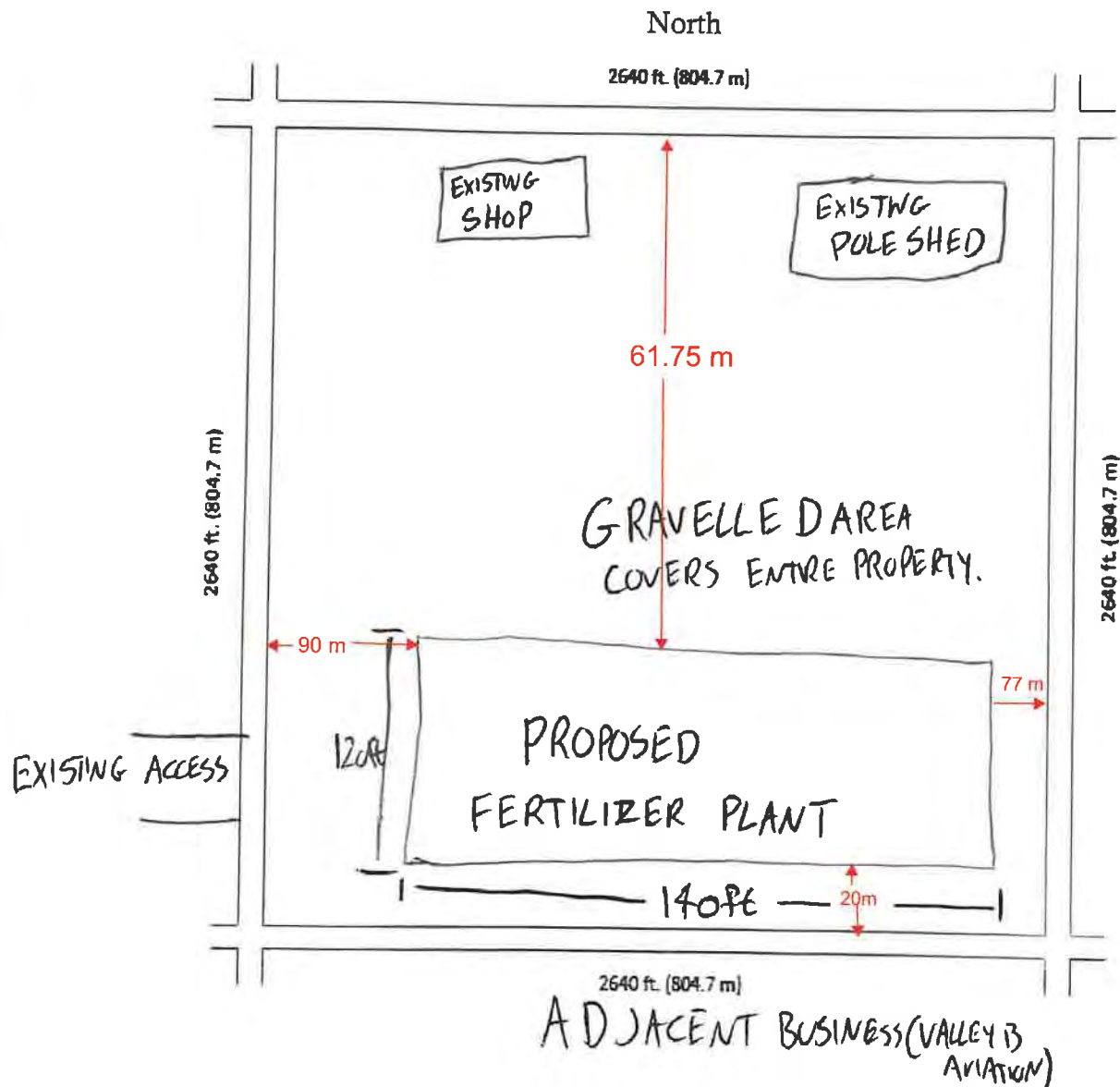
04.B.1

MUNICIPAL ADDRESS: 5A/5B 232 074 TWP RD 920
MANNING, AB

PROPOSED DEVELOPMENT SKETCH

LEGAL _____ ¼ SEC _____ TWP 92 RG 23 W 5 M

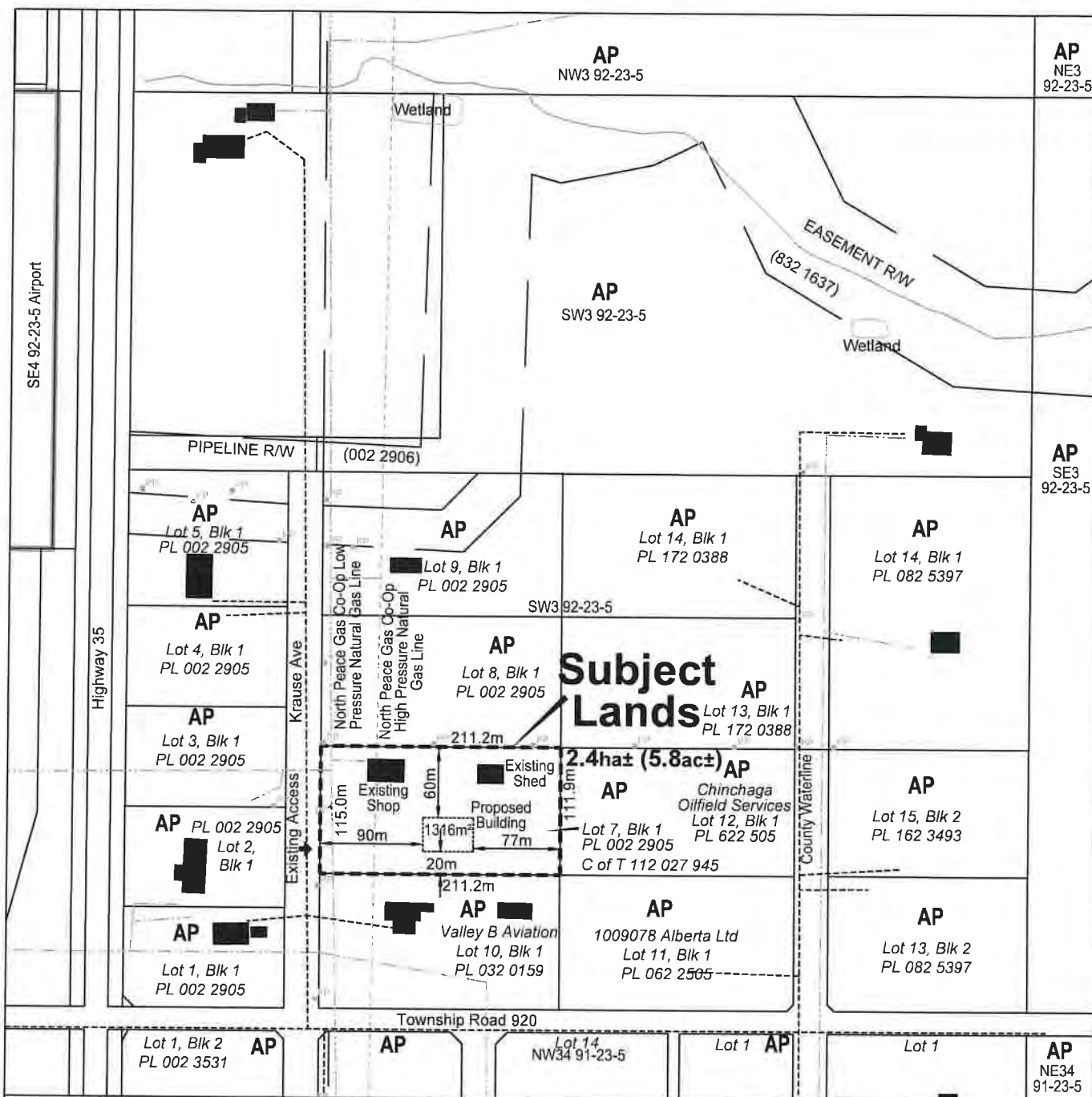
- └ Parcel Boundaries/dimensions (feet, meters, etc.).
- └ Locate developed road allowance(s) and access points(s).
- └ Distance from all proposed boundary lines to all non-movable buildings (if applicable).
- └ Distance from residence to drinking water supply, sewage system outlet and all boundary lines (if applicable).
- └ Distance from sewage outlet to water supply and all boundary lines (if applicable).
- └ Distance from water supply to all proposed boundary lines (if applicable).
- └ Locate additional residence(s) on the ¼ section (if applicable).
- └ Locate shelterbelts, creeks, rivers, drainage ditches, railways, etc.



SEE ATTACHED AERIAL IMAGE
AND FERT SYSTEM LAYOUT DRAWING



04.B.1

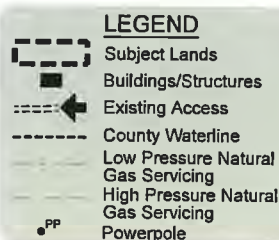


DEVELOPMENT PERMIT APPLICATION

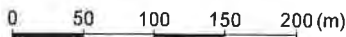
COUNTY OF NORTHERN LIGHTS

SW3, Twp 92, Rge 23, W5M

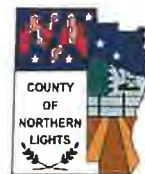
FILE No. DP-24-29



SCALE 1 : 5,000

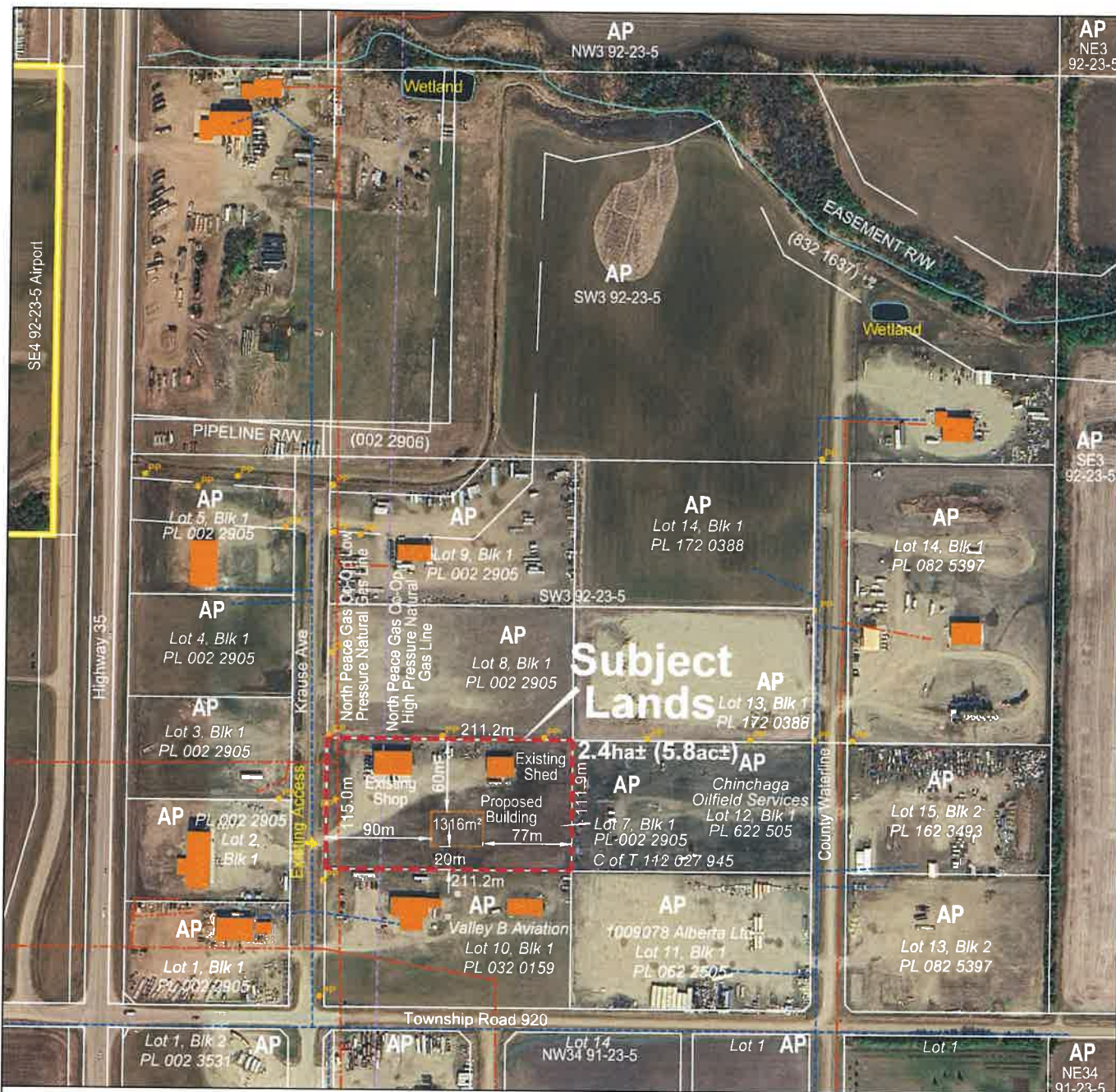


NOTE: Improvements located as per data supplied by owner and Abadata measurements



August 23, 2024

04.B.1



DEVELOPMENT PERMIT APPLICATION

COUNTY OF NORTHERN LIGHTS

LEGAL: SW3, Twp 92, Rge 23, W5M

FILE No. DP-24-29



LEGEND

- Subject Lands
- Buildings/Structures
- Existing Access
- County Waterline
- Low Pressure Natural Gas Servicing
- High Pressure Natural Gas Servicing
- Powerpole

SCALE 1 : 5,000

0 50 100 150 200 (m)

NOTE: Improvements located as per data supplied by owner and Abadata measurements.



August 23, 2024

04-B.1



County of Northern Lights

600 7th Avenue NW, Box 10, Manning, AB T0H

2M0 Phone: (780) 836-3348 Fax (780) 836-3663

ADDITIONAL DEVELOPMENT INFORMATION

PLEASE INDICATE BELOW THE METHOD OF SEWAGE DISPOSAL AND TYPE OF DOMESTIC WATER SUPPLY TO BE USED IN RELATION TO YOUR DEVELOPMENT APPLICATION. PLEASE INDICATE ON THE SITE PLAN THE PROPOSED LOCATION AND DISTANCES OF YOUR WATER SUPPLY AND SEWAGE DISPOSAL FROM ALL PROPERTY LINES AND RESIDENCE.

TYPE OF DOMESTIC WATER SUPPLY (PLEASE CHECK)

- ☐ DUGOUT
- ☐ WELL
- ☐ CISTERN AND HAULING SERVICE
- ☒ COMMUNITY WELL/MUNICIPAL SERVICE
- ☐ OTHER (PLEASE SPECIFY)

EXISTING MUNICIPAL SERVICE LOCATED ON-SITE

TYPE OF DOMESTIC/COMMERCIAL SEWAGE DISPOSAL (PLEASE CHECK)

- ☐ OPEN DISCHARGE/APPROVED SEPTIC TANK
- ☐ SUB-SURFACE DISPOSAL/APPROVED SEPTIC TANK
- ☐ ABOVE GROUND MOUND/APPROVED SEPTIC TANK
- ☐ APPROVED SEWAGE LAGOON
- ☐ OUTDOOR PRIVY
- ☒ MUNICIPAL SERVICE
- ☐ OTHER (PLEASE SPECIFY)

EXISTING MUNICIPAL SERVICE Located on-site

PLEASE INDICATE IF THE ABOVE INFORMATION IS:

- ☒ a) EXISTING
- ☐ b) PROPOSED

FOR ADDITIONAL INFORMATION CONTACT:

MUNICIPAL AFFAIRS AND HOUSING, Public Safety Department
PEACE RIVER, AB
PHONE: 1-866-421-6929

04.B.1



County of Northern Lights
600 7th Avenue NW, Box 10, Manning, AB T0H 2M0
Phone: (780) 836-3348 Fax (780) 836-3663

RIGHT OF ENTRY BY AN AUTHORIZED PERSON FROM THE COUNTY OF NORTHERN LIGHTS FOR THE PURPOSES OF A SITE INSPECTION OF THE LAND AFFECTED BY A PROPOSED DEVELOPMENT APPLICATION.

The County Government Act, 1995, Section 542 (1) states the following:

A designated officer of the county may "enter such land or structure at any reasonable time, and carry out the inspection, enforcement or action authorized or required by the enactment or bylaw,"

IN ACCORDANCE WITH SECTION 542 (1) a OF THE COUNTY GOVERNMENT ACT, PLEASE COMPLETE THE FOLLOWING RIGHT OF ENTRY FORM AND SUBMIT WITH YOUR DEVELOPMENT APPLICATION.

I do ☒ or do not ☐ give consent for an authorized person of the County of Northern Lights to enter the land subject to a development application for the purpose of making a site inspection in order to evaluate the proposed development application.

MUNICIPAL ADDRESS: 5A/5B 232074 TWP RD 920, MANNING, AB
LEGAL DESCRIPTION OF THE LAND _____

NAME (Please Print) HAWKVIEW AG LTD. - MICHAEL VREELING

SIGNED *Michael Vreeling*

DATE July 4/24

*****RIGHT OF ENTRY*****

04.B.1



APPLICANT STATEMENT REGARDING ABANDONED WELLS

In accordance with the Municipal Government Act Subdivision and Development Regulation

I, MICHAEL VREELING, registered owner (or
(Please Print)

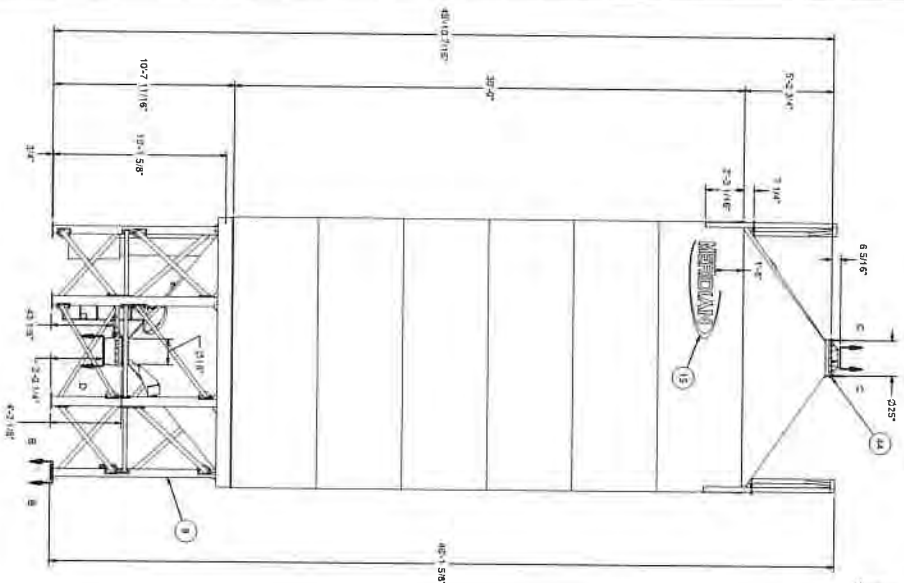
their agent) of 5A/5B 232074 TWP RD 920, have consulted the Energy
(Legal Land Description)
MUNICIPAL ADDRESS MANNING, AB

Resources Conservation Board (ERCB) Abandoned Well Map Viewer, and verified that **there are no abandoned wells** located the property subject to this application. A copy of the ERCB map showing the subject property is attached.

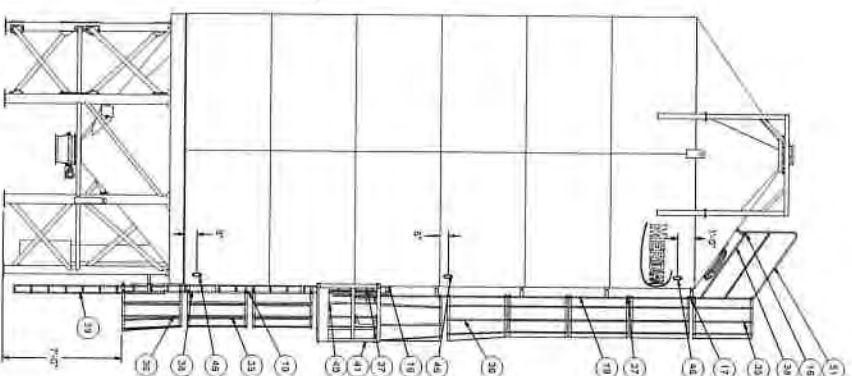

Signature of registered owner (or agent)

July 4/24
Date

04.B.1



ELEVATION VIEW



VIEW A

EXTERIOR PREP SSPC-SP1 SP2, SP3, SP8
EXTERIOR COATING ZINC POWDER & POLYURETHANE

INTERIOR COATING: 2 COATS EPOXY
INTERIOR PREP: SSPC-SP1 SP2, SP3 SP8
EXTERIOR COATING: ZINC PRIMER & BONE WHITE OP COA

DESIGN NOTES
DESIGN CODE: NBC 2020

PRODUCT 0-0-60 (K), GRANULAR FERTILIZER

MAX PRODUCT DENSITY 75 pcf
(FREE FLOWING MATERIAL)

DESIGN PRESSURES +50z/-0.50z PRESS/VAC
SEISMIC: Sa(0.2 XD)=0.168; Sa(0.5 XD)=0.151
SITE CLASS: D

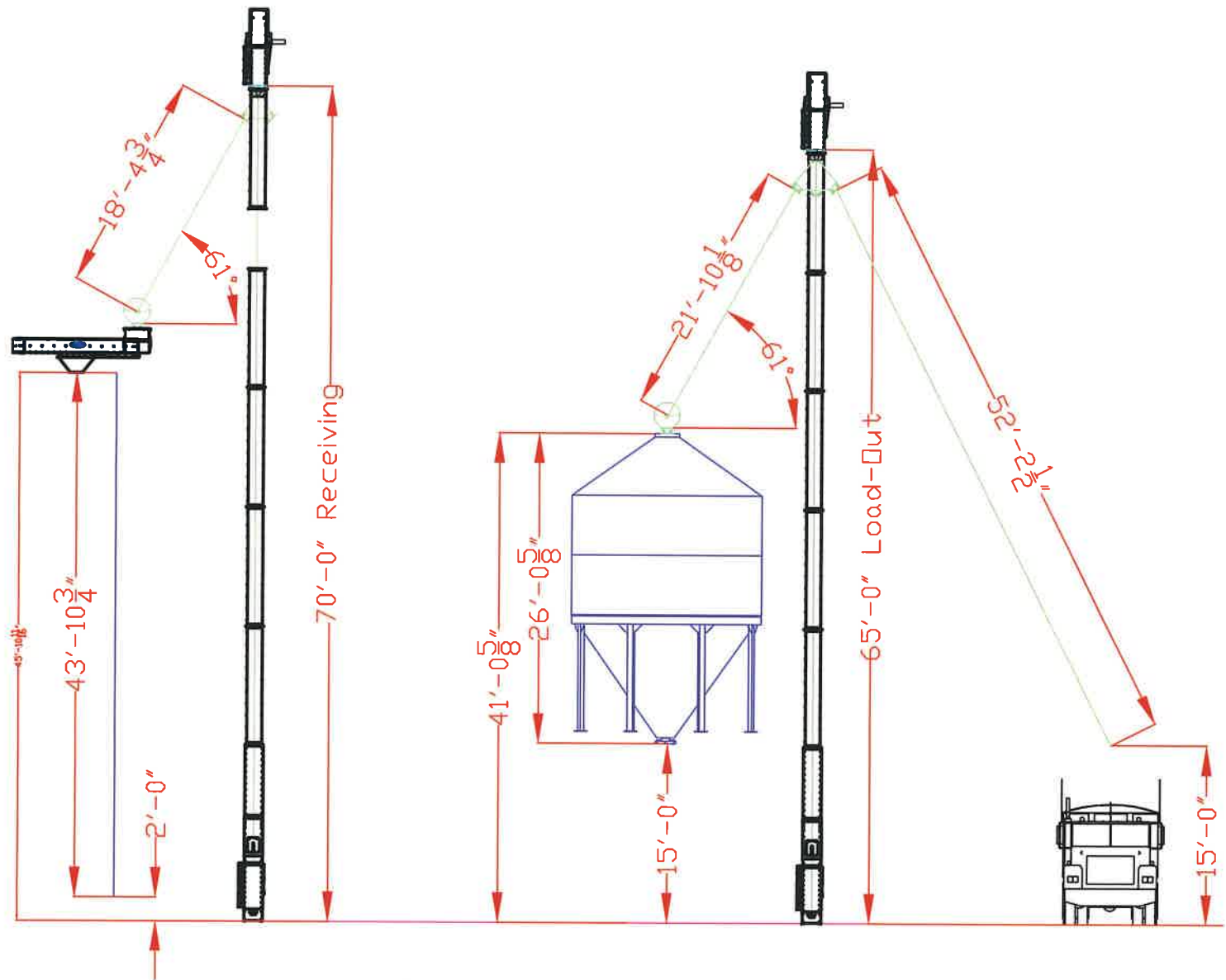
WIND: 0.3kPa
FOUNDATION ENGINEER TO DESIGN ANCHOR BOLTS

[illegible]

NOTES: SHIP LOOSE REST PLATFORMS, LADDER CAGES, HANDRAILS, FILTER SOCK

[illegible]

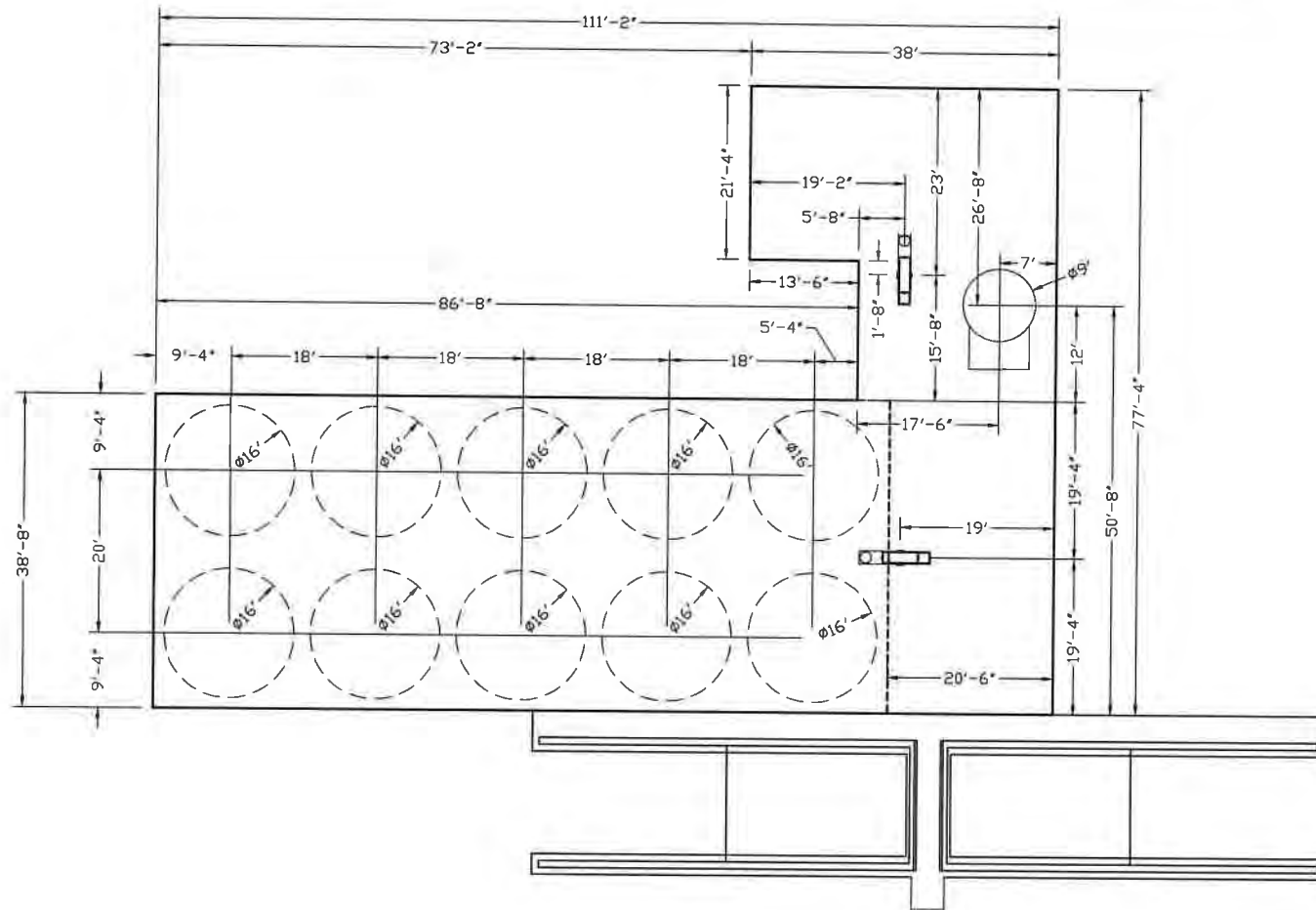
94.B.1



SKYWAY
GRAIN SYSTEMS INC.

						INFORMATION INCLUDED IN THIS DRAWING IS PROPRIETARY, AND IS NOT TO BE REPRODUCED, DISTRIBUTED OR DISCLOSED EXCEPT AS SPECIALLY AUTHORIZED IN WRITING BY SKYWAY GRAIN SYSTEMS INC.	SCALE: N.T.S.	DWG. TITLE: SPOUTS
△	APR 17-2024	REVISION #2	LB	JS	JS		DATE: MAR 1-2024	CUSTOMER: HAWKVIEW AG
△	APR 9-2024	REVISION #1	LB	JS	JS		OWN: LB	PROJECT: FERTILIZER SYSTEM
△	MAR 1-2024	ORIGINAL RELEASE	LB	JS	JS	DO NOT SCALE DRAWINGS. ALL DIMENSIONS, DATA AND ELEVATIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR IN THE FIELD PRIOR TO COMMENCEMENT OF ANY WORK. ALL ERRORS OR DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER/DESIGNER IMMEDIATELY.	CHK: JS	LOCATION: AB
Rev.	Date	Description	By	CHK	APPD		APPD: JS	DWG. NO: A-4
							SHEET X OF X	REVISION NO: 2

04.B.1



SKYWAY
GRAIN SYSTEMS INC.

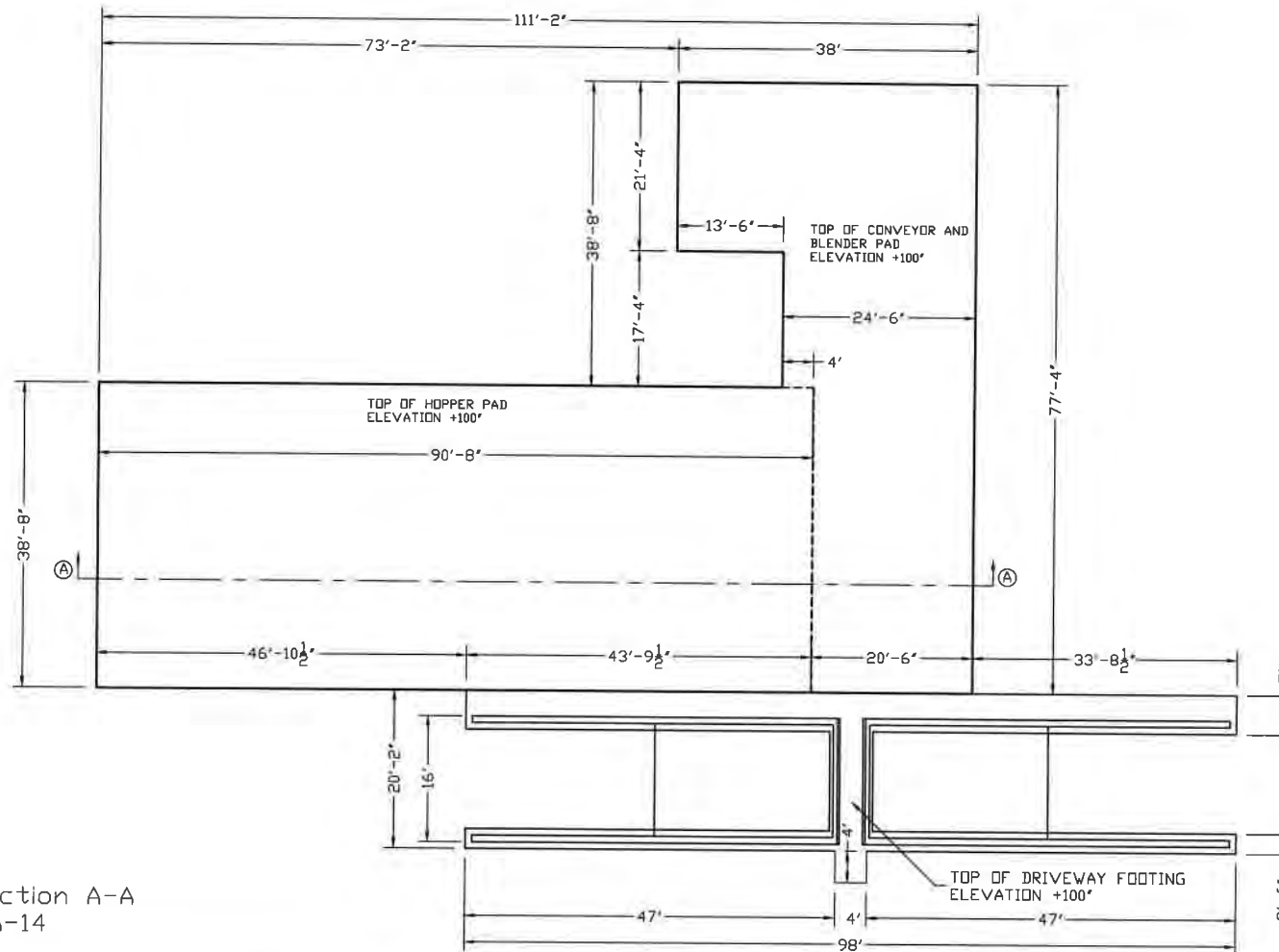
▲	JULY 17-2024	REVISION #1	LB	JS	JS
▲	JULY 9-2024	ORIGINAL RELEASE	LB	JS	JS
Rev.	Date	Description	By	CHK	APPD

INFORMATION INCLUDED IN THIS DRAWING IS PROPRIETARY, AND IS NOT TO BE REPRODUCED, DISTRIBUTED OR DISCLOSED EXCEPT AS SPECIALLY AUTHORIZED IN WRITING BY SKYWAY GRAIN SYSTEMS INC.

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SCALE:	NTS	DWG. TITLE:	PLAN V.W. EQUIPMENT
DATE:	JULY 9-2024	CUSTOMER:	HAWKVIEW AG
DWN:	LB	PROJECT:	FERTILIZER SYSTEM
CHK:	JS	LOCATION:	AB
APPD:	JS	DWG. NO.:	A-18
SHEET X OF X		REVISION NO.:	1

04.B.1



SKYWAY
GRAIN SYSTEMS INC.

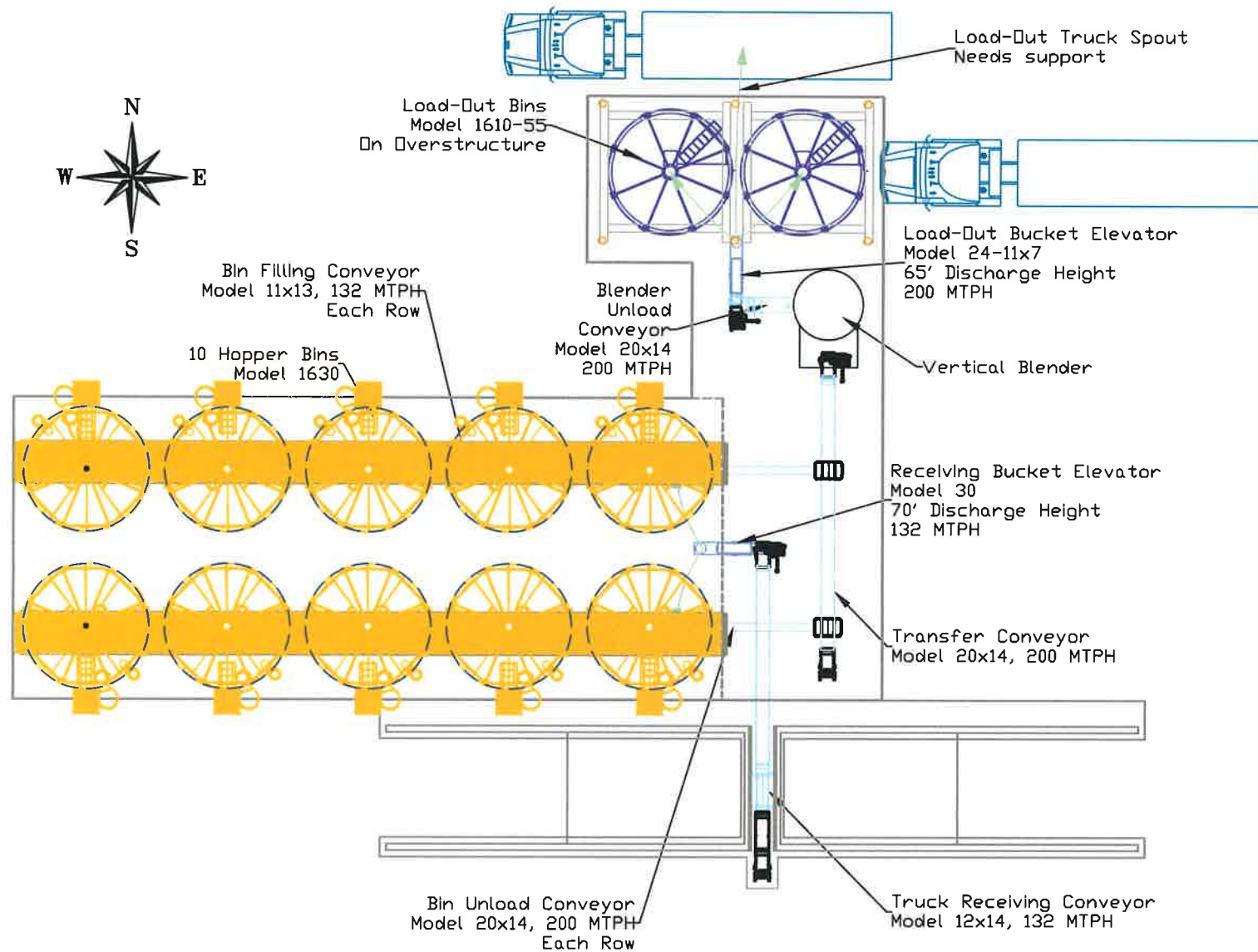
Rev.	Date	Description	By	CHK	APPD
△	JULY 17-2024	REVISION #2	LB	JS	JS
△	JUNE 4-2024	REVISION #1	LB	JS	JS
△	MAY 7-2024	ORIGINAL RELEASE	LB	JS	JS

INFORMATION INCLUDED IN THIS DRAWING IS PROPRIETARY, AND IS NOT TO BE REPRODUCED, DISTRIBUTED OR DISCLOSED EXCEPT AS SPECIALLY AUTHORIZED IN WRITING BY SKYWAY GRAIN SYSTEMS INC.

DO NOT SCALE DRAWINGS. ALL DIMENSIONS, DATA AND ELEVATIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR IN THE FIELD PRIOR TO COMMENCEMENT OF ANY WORK. ALL ERRORS OR DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER/DESIGNER IMMEDIATELY.

SCALE:	N.T.S.	DWG. TITLE:	PLAN V.V. CONCRETE
DATE:	MAY 7-2024	CUSTOMER:	HAWKVIEW AG
OWN:	LB	PROJECT:	FERTILIZER SYSTEM
CHK:	JS	LOCATION:	AB
APPD:	JS	DWG. NO.:	A-11
SHEET	X OF X	REVISION NO.:	2

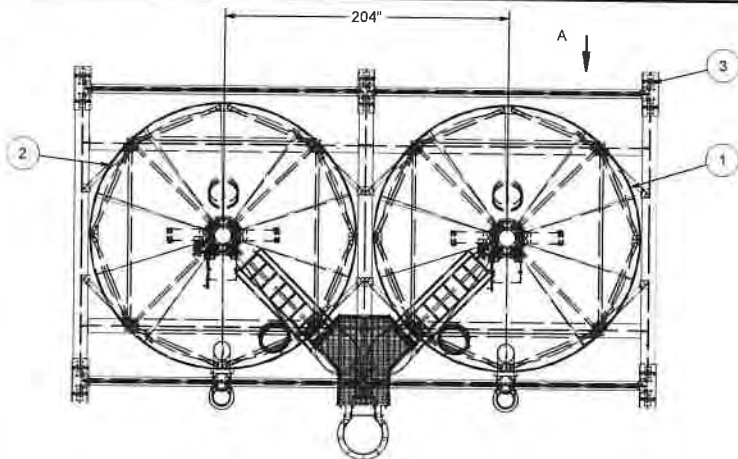
04.B.1



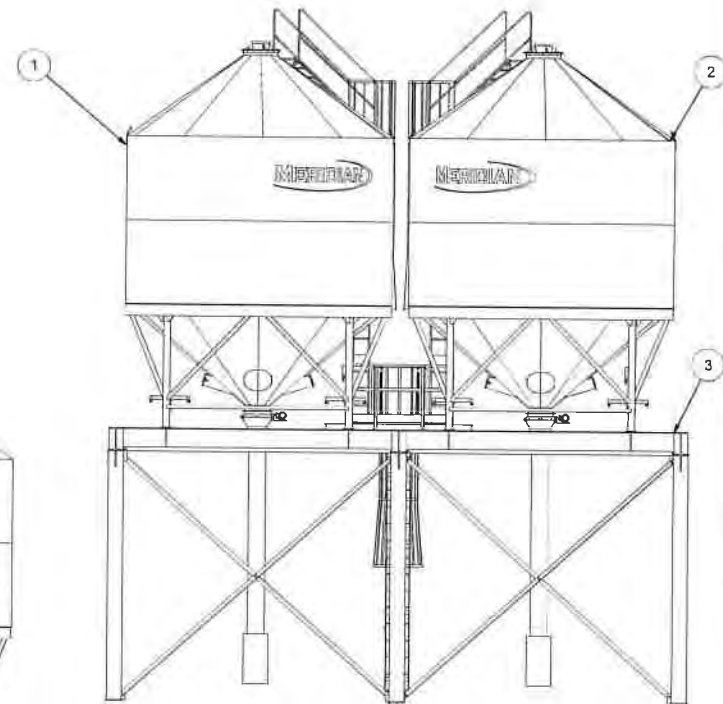
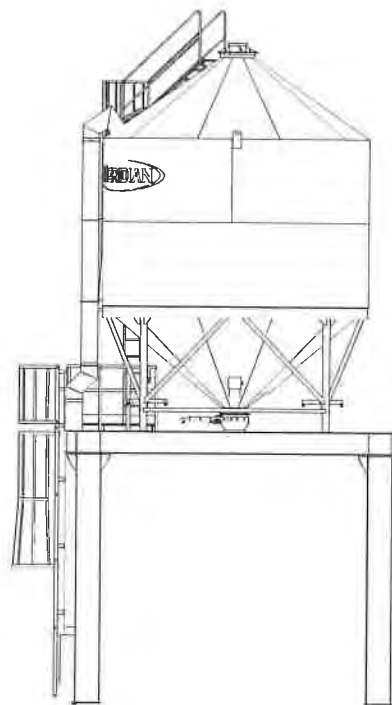
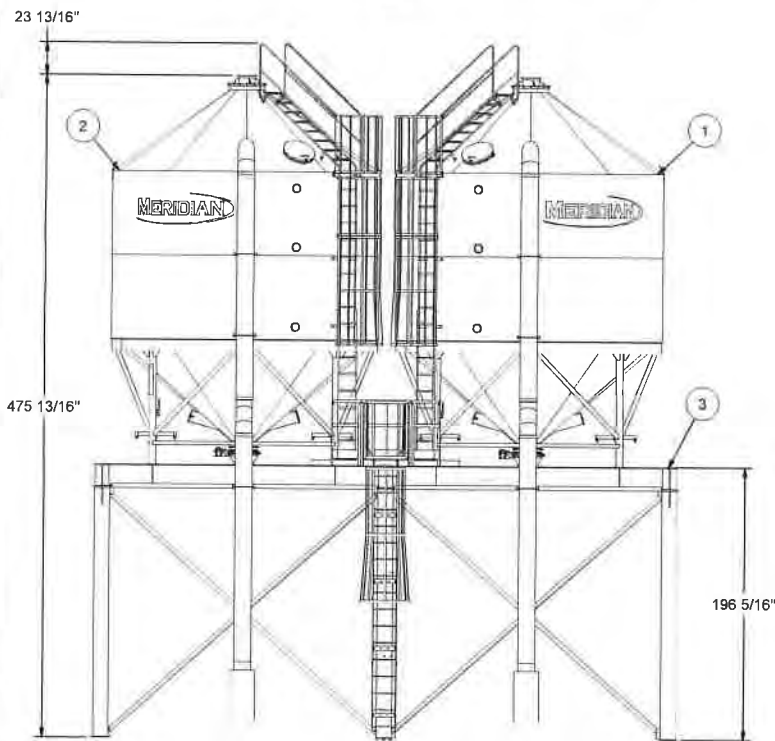
SKYWAY
GRAIN SYSTEMS INC.

△	APR 17-2024	REVISION #5	LB	JS	JS	INFORMATION INCLUDED IN THIS DRAWING IS PROPRIETARY, AND IS NOT TO BE REPRODUCED, DISTRIBUTED OR DISCLOSED EXCEPT AS SPECIALLY AUTHORIZED IN WRITING BY SKYWAY GRAIN SYSTEMS INC. DO NOT SCALE DRAWINGS. ALL DIMENSIONS, DATA AND ELEVATIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR IN THE FIELD PRIOR TO COMMENCEMENT OF ANY WORK. ALL ERRORS OR DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER/DESIGNER IMMEDIATELY.	SCALE: N.T.S.	DWG. TITLE: PLAN VIEW
△	APR 15-2024	REVISION #4	LB	JS	JS		DATE: MAR 1-2024	CUSTOMER: HAWKVIEW AG
△	APR 11-2024	REVISION #3	LB	JS	JS		DWN: LB	PROJECT: FERTILIZER SYSTEM
△	APR 10-2024	REVISION #2	LB	JS	JS		CHK: JS	LOCATION: AB
△	MAR 1-2024	ORIGINAL RELEASE	LB	JS	JS		APPD: JS	DWG. NO: A-1
Rev.	Date	Description	By	CHK	APPD		SHEET X OF X	REVISION NO: 5

04.16.1



ITEM	QTY	MASS	PART #	DESCRIPTION
1	1	8101.34 lbmass	SO209054(A)	1610-40-35
2	1	8101.34 lbmass	SO209055(A)	1610-40-35
3	1	19935.79 lbmass	SO209056(A)	16"Wx15"H DRIVE-THRU DOUBLE STRUCTURE (1610 BIN)



VIEW A

MERIDIAN

THIS DRAWING IS THE EXCLUSIVE PROPERTY OF MERIDIAN MFG INC. DUPLICATION BY ANY MEANS IS PROHIBITED WITHOUT PERMISSION FROM MERIDIAN MFG INC.

MATERIAL:

PROJECT/CUSTOMER NAME:

SKYWAY

DESCRIPTION:

SITE

WEIGHT:

36138.48 lbmass

PROCESS:

DRAWN BY:

BR

DRAWN BY DATE:

7/16/24

CHECKED BY:

PART/DRAWING NUMBER:

SO209054-56(A) SITE

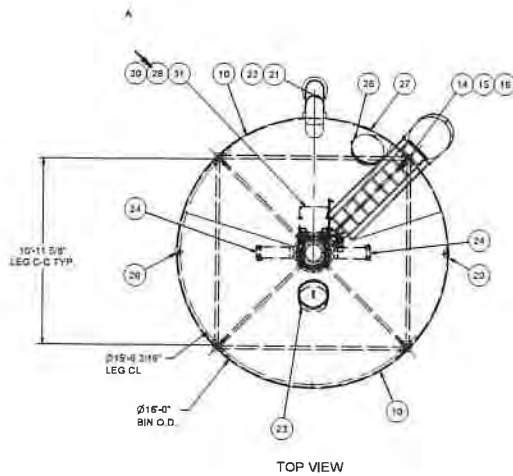
REV:

A

SHEET No:

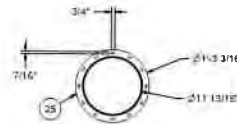
1 OF 1

04.B.1

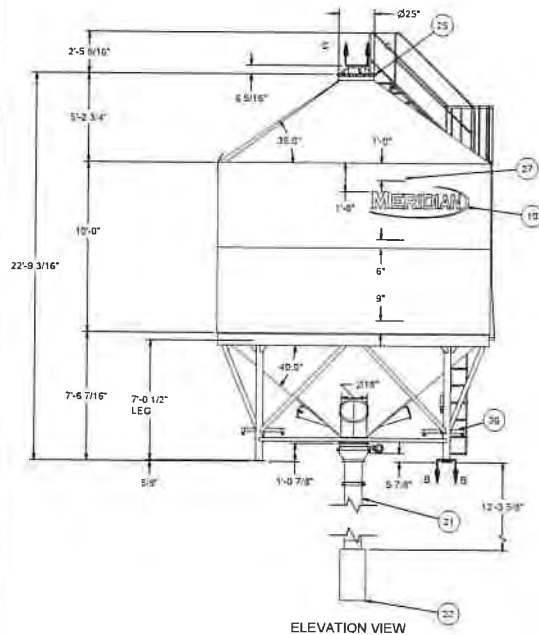


ITEM	QTY	PART #	DESCRIPTION	x1	x2
10	2	20028	DECAL MERIDIAN 86" (D		
11	1	31059	LADDER RECEIVER ROOF GREY		
12	1	34056	LADDER RECEIVER SIDEWALL GREY (V1)		
13	10	24244	LADDER MOUNT BRACKET (V2)		
14	1	34151	HIT OWNER MANUAL/HOLDER		
15	1	15984	SERIAL NUMBER DECAL		
16	1	19877	ALL IN ONE LARNING DECAL		
17	50	19810	PAINT BONE WHITE (lbs)		
18	50	19809	PAINT 2ND (lbs)		
19	80	19805	PAINT EPOXY (lbs)		
20	2	21868	14" LIFT LOCK BEND 30"		
21	1	A209054-55-1000	12" VENT FAN 12"		
22	1	42347	FILTER BASK 12"		
23	1	47000	MANWAY BOTTOM - BONE WHITE		
24	2	33000BW	8" x 8" POKE HOLE ASSY - BONE WHITE		
25	1	34044	COVERPLATE W/ 12" FL & GUY WIRE BRKTS		
26	1	48000	Ø12" ROOF MANHOLE W/ RING - BONE WHITE		
27	2	47004	VIEW GLASS 5" X 8" RING ASSY		
28	1	18161	LIQUID FLAVOR		
30	1	18820	GASSET 18" W/ 20 HOLES, 3/16" TH		
31	1	A209054-55-1001	1/8" SLIDE GATE W/ NORD-GEAR BRACKET - FRAME & PLATE		
32	1	31187	LADDER T SECT FORMED GREY		
33	1	21198	LADDER K SECT FORMED GREY		
34	1	33200	SAFETY LADDER GREY		
35	1	31007	LADDER G SECT FORMED GREY		
36	4	20131	WEIGHT HOOK ASSY - RED OX		
37	1	47357	LADDER CAGE PKG GREY 2" - Q711-78"		
38	1	31252	HANDRAIL PKG 16 BN GREY		
38	1	A101054-55-1003	18" 5" - 14" SQ TRANSITION		

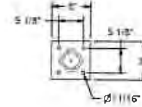
NOTES: SHIP LOOSE TOP LADDER CAGE, HANDRAILS, FILTER SOCK, BOTTOM OF VENT PIPE



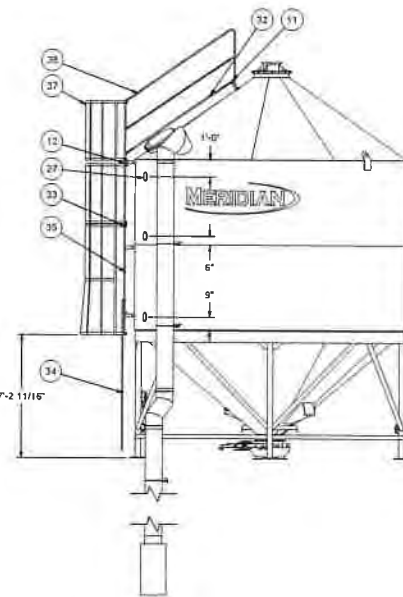
SECTION C-C



ELEVATION VIEW



SECTION B-B



VIEW A

COATING SPECIFICATIONS
 EXTERIOR PREP: SSPC-SP1, SP2, SP3, SP8
 EXTERIOR COATING: ZINC PRIMER & BONE WHITE TOP COAT
 INTERIOR PREP: SSPC-SP1, SP2, SP3, SP8
 INTERIOR COATING: 2 COATS EPOXY
 ACCESSORY COLOUR: GREY

DESIGN NOTES
 DESIGN CODE: NBC 2020
 DESIGN LOCATION: Manning, AB
 PRODUCT: 0-0-00 (0), GRANULAR FERTILIZER
 MAX. PRODUCT DENSITY: 75 pcf
 (FREE FLOWING MATERIAL)
 DESIGN PRESSURES: +8.2/-0.5 psf PRESS/VAC
 SEISMIC: Se(0.2 KD)=0.188, Se(0.5 KD)=0.151
 SITE CLASS: D
 WIND: 0.3 kPa
 FOUNDATION ENGINEER TO DESIGN ANCHOR BOLTS

PRELIMINARY DRAWING
 - NOT FOR CONSTRUCTION -

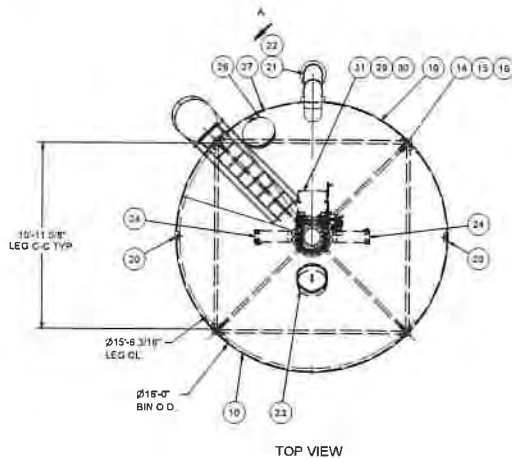
CUSTOMER APPROVAL

☐ Reviewed and accepted
☐ Review and resubmit
☐ Work shall not proceed

SIGN: _____
 DATE: _____

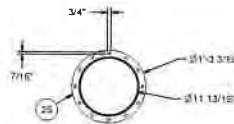
A-1	REMOVED 1 1/4\"/>
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04.B.1

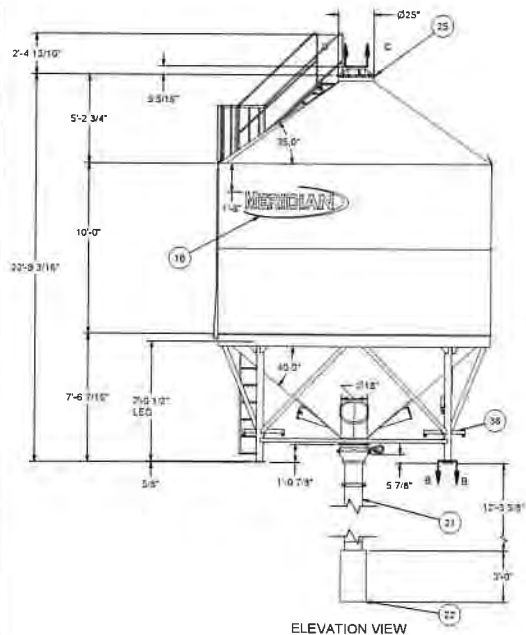


ITEM	QTY	PART #	DESCRIPTION	1	2
10	2	20028	DECAL MERIDIAN 8" LG		
11	1	31059	LADDER RECEIVER ROOF GREY		
12	1	31059	LADDER RECEIVER SIDEWALL GREY (N2)		
13	10	24244	LADDER MOUNT BRACKET (P21)		
14	1	24151	KIT OWNER MANUAL HOLDER		
15	1	12584	SERIAL NUMBER DECAL		
16	1	19377	ALL IN ONE WARNING DECAL		
17	50	19810	PAINT BONE WHITE (Bst)		
18	50	19808	PAINT ZINC (Bst)		
19	50	19805	PAINT EPOXY (Bst)		
20	2	22968	14" LIFT LUG (BEND 35°)		
21	1	A20954-55-1000	12" VENT PIPE PCG		
22	1	47002	FILTER BOSS 12"		
23	1	47002	MANWAY BOTTOM - BONE WHITE		
24	2	33008BW	8" x 3" POKE HOLE ASSY - BONE WHITE		
25	1	34044	COVER PLATE W/ 12" FL & GUY WIRE BRKTS		
26	1	45000	31/2" ROOF MANHOLE W/ RING - BONE WHITE		
27	1	47006	WASKET 18" x 5.5 RING ASSY		
28	1	28152	LIQUID FLANGE		
30	1	15823	GASSET 16" W/ 20 HOLES 3/16" TH		
31	1	A20954-55-1001	18" SLIDE GATE W/ NORD-GEAR BRACKET - FRAME & PLATE		
32	1	31196	LADDER 6' SECT FORMED GREY		
33	1	31197	LADDER 7' SECT FORMED GREY		
34	1	31067	LADDER 4' SECT FORMED GREY		
35	1	31200	SAFETY LADDER GREY		
36	1	39131	WEIGHT HOOK ASSY - WELD ON		
37	1	41357	LADDER CADE PKG GREY 2'-47 1/2"-76"		
38	1	31262	HANDRAIL PKG 18" W/ 8IN GREY		
39	1	A20954-55-1003	18" SF - 14" SQ TRANSITION		

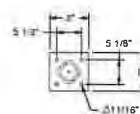
NOTES: SHIP LOOSE TOP LADDER CAGE, HANDRAILS, FILTER SOCK BOTTOM OF VENT PIPE



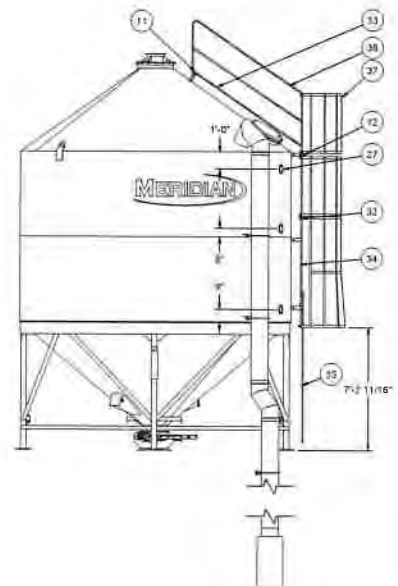
SECTION C-C



ELEVATION VIEW



SECTION B-B



VIEW A

COATING SPECIFICATIONS
 EXTERIOR PREP: SSPC-SP1 SP2, SP3, SP8
 EXTERIOR COATING: ZINC PRIMER & BONE WHITE TOP COAT
 INTERIOR PREP: SSPC-SP1 SP2, SP3, SP8
 INTERIOR COATING: 2 COATS EPOXY
 ACCESSORY COLOUR: GREY

DESIGN NOTES
 DESIGN CODE: NBC 2020
 DESIGN LOCATION: Manning, AB
 PRODUCT: 0-0-50 (K) GRANULAR FERTILIZER
 MAX PRODUCT DENSITY: 75 pcf
 (FREE FLOWING MATERIAL)
 DESIGN PRESSURES: +842/-0 S&S PRESS/VAC
 SEISMIC: S&S(0.2KD)+0.168; S&S(0.5KD)+0.151
 SITE CLASS: D
 WIND: 0.3KPa
 FOUNDATION ENGINEER TO DESIGN ANCHOR BOLTS

PRELIMINARY DRAWING
 NOT FOR CONSTRUCTION

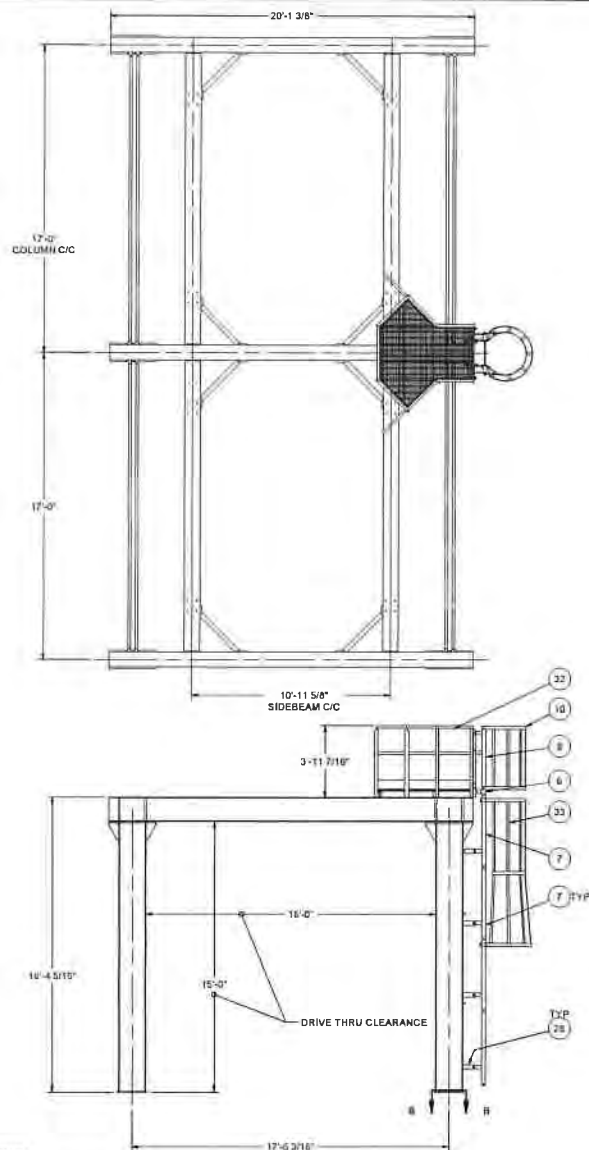
CUSTOMER APPROVAL

☐ Reviewed and accepted
☐ Revised and resubmit
☐ Work shall not proceed
 SIGN _____
 DATE _____

A.1 REMOVED 1 1/4" COUPLER ON ROOF		7/15/24	BR
REV	DESCRIPTION	DATE	DESIGNER
REVISION HISTORY PROJECT/CUSTOMER NAME: SKYWAY DESCRIPTION: 1810-40-35 WEIGHT: 8101.34 lbs/mass VOLUME: 2829 m³ PART/DRAWING NUMBER: 30209052(A)			
DRAWN BY:	DRAWN BY DATE:	CHECKED BY:	REV:
BR	7/16/24	BR	A.1
SHEET No:			1 OF 1

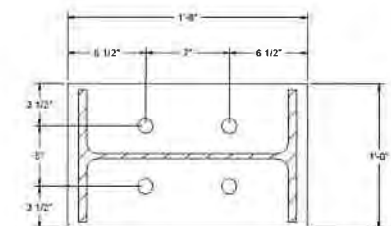
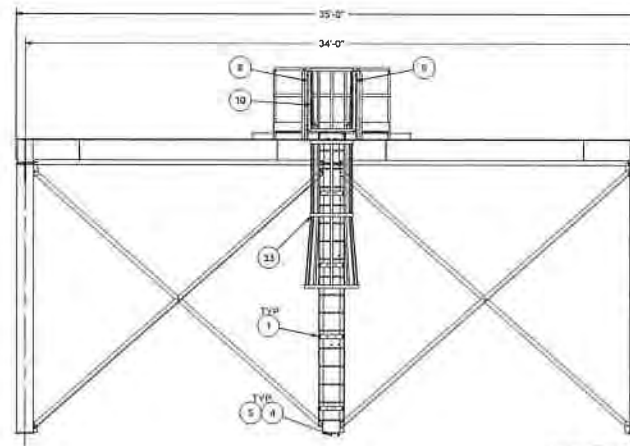
04.B.1

ITEM	QTY	PART #	DESCRIPTION	11	12
6	1	31641	INDUSTRIAL ROOF RECEIVER, GREY		
7	4	31644	4FT INDUSTRIAL LADDER, GREY		
8	1	31807MG	INDUSTRIAL GRAB BAR LH, GREY		
9	1	31808MG	INDUSTRIAL GRAB BAR RH, GREY		
10	1	37875	INDUSTRIAL GRAB BAR CAGE, GREY		
28	4	A209056-1009	COLUMN LADDER BRACKET - PAINTED		
32	1	A209056-2004	ACCESS PLATFORM WELDMENT, GREY		
33	1	21534	BE PLATED INDUSTRIAL CAGE, GREY		



COATING SPECIFICATIONS
 EXTERIOR PREP
 EXTERIOR COATING: BONE WHITE POWDER
 ACCESSORY COLOUR: GRAY

DESIGN NOTES
 DESIGN LOCATION: Manning, AB
 SEISMO: Sa(0.2 KD)=0.168, Sa(0.5 AD)=0.151
 WIND: 109 mph
 FOUNDATION ENGINEER TO DESIGN ANCHOR BOLTS
 INSTALLATION BY OTHERS - SEE SHEET 02 FOR INSTALLATION DETAIL



SECTION B-B

PRELIMINARY DRAWING
 - NOT FOR CONSTRUCTION -

CUSTOMER APPROVAL

☐ Reviewed and accepted

☐ Revise and resubmit

☐ Work shall not proceed

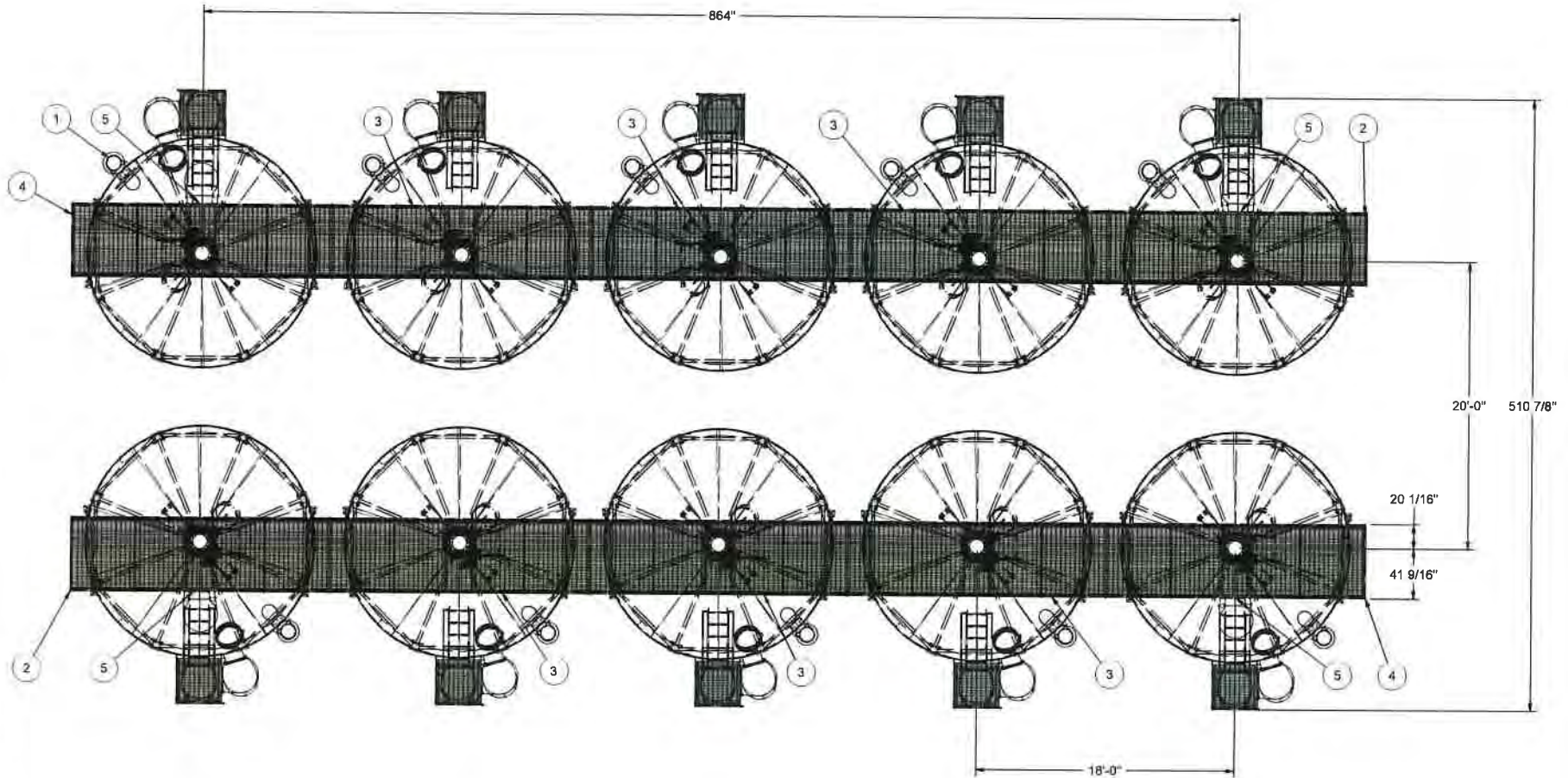
SIGN: _____

DATE: _____

REV	ADDED DIMENSIONS	DESCRIPTION	DATE	DESIGNER
A.1	ADDED DIMENSIONS		7/16/24	BR
REVISION HISTORY				
PROJECT/CUSTOMER NAME: SKYWAY				
DESCRIPTION: 16Wx15H DRIVE-THRU DOUBLE STRUCTURE (1510 BIN)				
WEIGHT: 10935.79 lbmsaa		VOLUME: 1		
DRAWN BY: BR		DRAWN BY DATE: 7/16/24		CHECKED BY: BR
PART/DRAWING NUMBER: SO208056(A)		REV: A.1		SHEET No: 1 OF 1

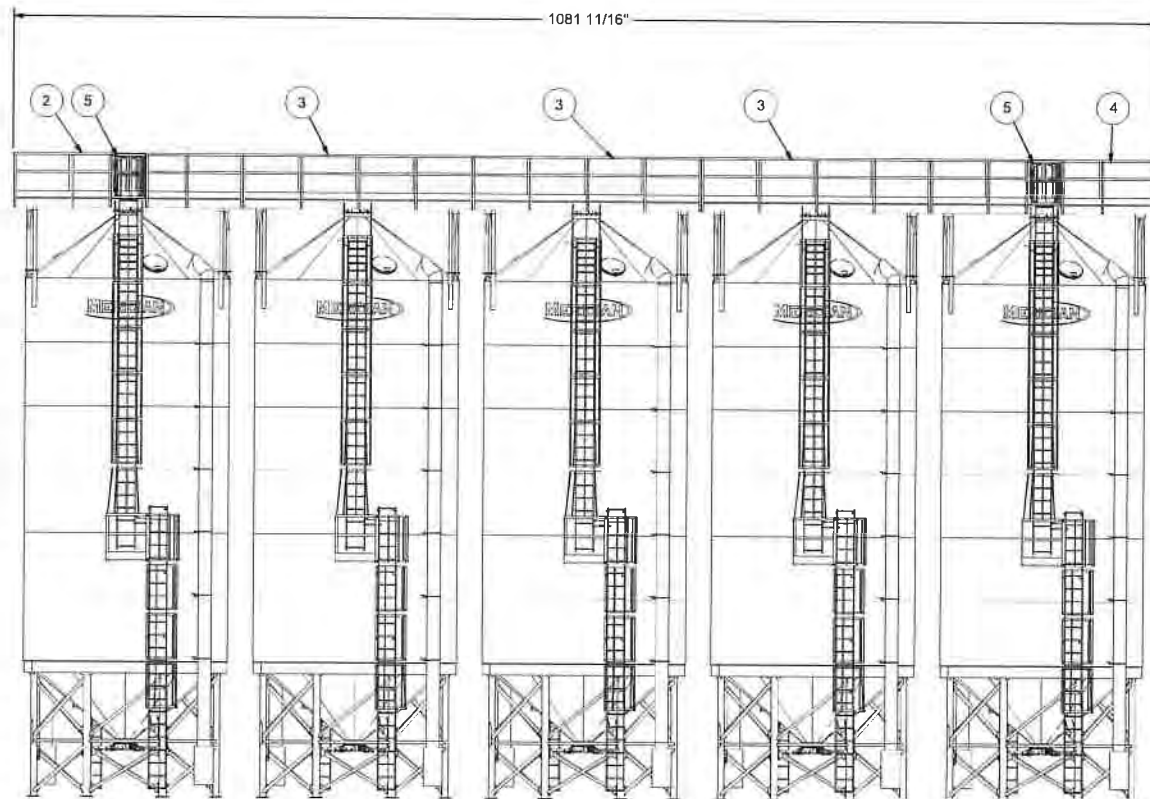
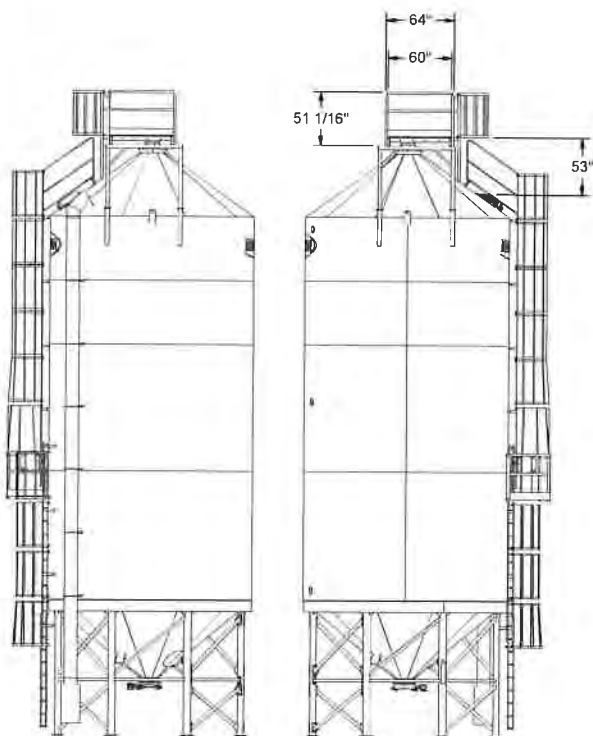
04.B.1

ITEM	QTY	MASS	PART #	DESCRIPTION
1	10	15913.59 lbmass	SO209044-49(A)	1630-40-35
2	2	1829.42 lbmass	A209044-1008	CATWALK
3	6	1661.13 lbmass	A209044-1007	CATWALK
4	2	1829.42 lbmass	A209044-1011	CATWALK
5	4	16.31 lbmass	34186SY	ADJUSTABLE SAFETY GATE PACKAGE, SAFETY YELLOW



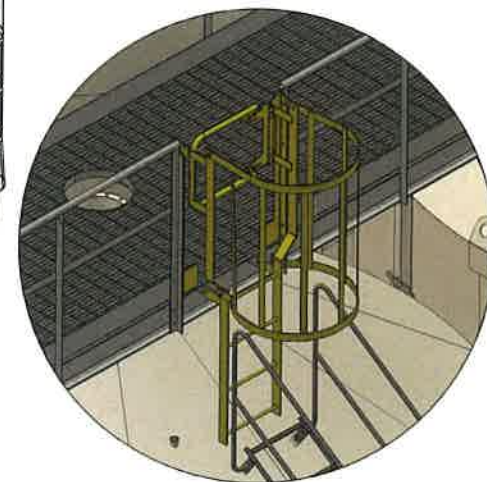
		PROJECT/CUSTOMER NAME:	
		SKYWAY	
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF MERIDIAN MFG INC. DUPLICATION BY ANY MEANS IS PROHIBITED WITHOUT PERMISSION FROM MERIDIAN MFG INC.		DESCRIPTION:	
		SITE	
MATERIAL:		WEIGHT:	PROCESS:
		176485.63 lbmass	
DRAWN BY:	DRAWN BY DATE:	CHECKED BY:	PART/DRAWING NUMBER:
BR	6/24/24		SO209044-53(A) SITE
		REV:	SHEET No:
		A	1 OF 3

04.B.1



 THIS DRAWING IS THE EXCLUSIVE PROPERTY OF MERIDIAN MFG INC. DUPLICATION BY ANY MEANS IS PROHIBITED WITHOUT PERMISSION FROM MERIDIAN MFG INC.		PROJECT/CUSTOMER NAME:			
		SKYWAY			
		DESCRIPTION:			
		SITE			
MATERIAL:		WEIGHT:	PROCESS:		
		176485.63 lbmass			
DRAWN BY:	DRAWN BY DATE:	CHECKED BY:	PART/DRAWING NUMBER:	REV:	SHEET No:
BR	6/24/24		SO209044-53(A) SITE	A	2 OF 3

04.B-1



DETAIL A

MERIDIAN

THIS DRAWING IS THE EXCLUSIVE PROPERTY OF MERIDIAN
MFG INC. DUPLICATION BY ANY MEANS IS PROHIBITED
WITHOUT PERMISSION FROM MERIDIAN MFG INC.

MATERIAL:

PROJECT/CUSTOMER NAME:

SKYWAY

DESCRIPTION:

SITE

WEIGHT:

176485.63 lbmass

PROCESS:

DRAWN BY:

BR

DRAWN BY DATE:

6/24/24

CHECKED BY:

PART/DRAWING NUMBER:

SO209044-53(A) SITE

REV:

A

SHEET No:

3 OF 3

04-B-1



04.B.1



Memorandum

Integrated Expertise. Locally Delivered.



1.1.1 7909 – 51 Avenue NW, Edmonton, AB T6E 5L9 T: 780.438.9000 F: 780.438.3700

To: **Reeve and Council – County of Northern Lights** Date: **October 7, 2024**
Attention: **Mr. Gerhard Stickling, Chief Administrative Officer** Project No.: **16613**
Cc: **David Schoor**
Reference: **DP-24-36 Toker**
From: **Debbie Bonnett**

Application

The applicant proposes to develop a detached, tarp shed that is 9.14 m (30') by 18.3.0 m (60'), and 4.9 m (16') in height within the front yard of the subject site. The tarp shed is 30 m from the property line. The site is located on the southwest portion of the NE18-84-21-W5M and is designated Agriculture General (A) District. A garage is considered an Accessory Building, which is listed as a permitted use in the A District.

Site and Surrounding Lands

The subject quarter section, which is 3.2 km north of Peace River town limits, is severed by Township Road 842A which is classified as a collector road. The adjacent lands are all zoned A District except for the quarter section directly south as it is designated Crown Land (CL) District. The quarter section is 500 m northwest of the CN Rail right-of-way.

This proposed development is compatible with surrounding Districts and land uses.

Access and Servicing

The site is accessed via an existing driveway from Township Road 842A. The applicant proposes a second access to the site via Township Road 842A. The applicant has received County approval for the second access and the inspection was completed the week of September 23, 2024.

The site is serviced by the Weberville Water Co-Op water supply network and an existing septic system for sewage disposal.

Compliance with Approved Plans and Land Use Compatibility

The proposed development does not meet Section I1.1 and I31.1 of the Land Use Bylaw (LUB) which states that, "No accessory building or any portion or thereof or any accessory use shall be erected or placed within the front yard of any parcel with the exception of farm dwellings" and requires a 41 m setback from a local road. The applicant does not farm the site and the tarp shed is 30 m from the front property line and therefore, this application requires Municipal Planning Commission (MPC) approval.

Circulation Comments

No comments were received from referral agencies or adjacent landowners.



Recommendation # 1

It is recommended that this application for an Accessory Building, Tarp Shed, on the NE18-84-21-W5M **BE APPROVED** subject to the following conditions:

1. The proposed development shall be situated on the lot in accordance with the approved site plan.
2. The owner/developer shall comply with the uses and regulations of Agriculture General (A) District.
3. The owner/developer shall contact an accredited agency contracted by Municipal Affairs to obtain the applicable permits or approval. A copy of the approved permits must be submitted to the County of Northern Lights for their files.
4. The owner/developer shall acquire all regulatory approvals required by affected agencies.
5. The applicant/owner may be required to enter into a development agreement with the County if upgrades to the existing access is required and shall consult with County of Northern Lights Public Works Department when installing culverts to ensure the approaches are constructed in accordance with County standards. Any costs incurred will be the responsibility of the applicant/owner.
6. The exterior finish of the support structure to be wood, metal or similar material to the satisfaction of the Development Authority. The finish and appearance should complement other structures and natural site features.
7. The owner/developer shall comply with setbacks as per Alberta Private Sewage System Standards.
8. No further development or construction shall be allowed without an approved Development Permit.

Recommendation # 2

It is further recommended that a variance of 11 meters be granted to allow the tarp shed to be located 30 meters from the front boundary:

04.B.2



DEVELOPMENT PERMIT APPLICATION FORM A

"An Agriculture Based Community"

FOR ADMINISTRATIVE USE	
APPLICATION NO.	DP 24-36
DATE RECEIVED	Aug 20, 2024
ROLL NO.	203229

County of Northern Lights, # 600, 7th Ave. NW Box 10, Manning, AB, T0H 2M0
W: www.countyofnorthernlights.com | E: development@countyofnorthernlights.com | T: (780) 836-3348 | F: (780) 836-3663

I / We hereby make application under the provisions of the Land Use Bylaw for a Development Permit in accordance with the plans and supporting information submitted herewith and form part of this application. I / We understand that this application will not be accepted without the following:

- (a) application fee;
- (b) site plan sketch that includes all relevant detail to the proposed development (e.g.: proposed and existing structures, property lines, creeks/ravines, parking and vehicle access, building plans, etc.)

APPLICANT INFORMATION		COMPLETE IF DIFFERENT FROM APPLICANT		
NAME OF APPLICANT Barry Toker		NAME OF REGISTERED OWNER		
		ADDRESS		
		POSTAL CODE		
		EMAIL ADDRESS*		
		you agree to receive correspondence by email.		
		PHONE (CELL)	PHONE (RES)	PHONE (BUS)

LAND INFORMATION			
Municipal Address (if applicable):			
Legal description (if applicable): Registered Plan: Block: Lot (parcel):			
QTR/LS: NE Section: 18 Township: 84 Range: 21 Meridian: 5			
Size of the Parcel to be developed 10.76 ☒ Acres or ☐ Hectares			
Description of the existing use of the land: residential			
Proposed Development: Tarp storage shed and chain link fence within the front yard 30 m from front boundary			
Circle any proposed uses(s):			
☐ SIGN(S)	☒ CULVERT(S)/ ROAD ACCESS POINT(S)	☐ PUBLIC USE(S)/ UTILITIES	
☐ DWELLING UNIT(S)	☐ ACCESSORY STRUCTURE(S)/ USE(S)	☒ SHED/GARAGE/BARN(S)	
☐ HOME BASED BUSINESS	☐ COMMERCIAL OR INDUSTRIAL STRUCTURE(S)/ USES(S)	☐ OTHER (SPECIFY)	
Estimated.	Date of Commencement 8/26/24	Date of Completion 9/13/24	Value of Construction: \$ 20,000.00

RECEIVED

AUG 20 2024

COUNTY OF
NORTHERN LIGHTS

04.B.2

PROPOSAL INFORMATIONDEVELOPMENT IS: ☐ NEW☐ EXISTING☒ ALTERATION TO EXISTINGLAND IS ADJACENT TO: ☐ PRIMARY HIGHWAY ☒ LOCAL ROAD ☐ INTERNAL SUBDIVISION ROAD ☐ OTHERLOT AREA: 10.76 acres LOT WIDTH: 672.73 LOT LENGTH: 701.05 PERCENTAGE OF LOT OCCUPIED: 10 %PRINCIPAL BUILDING SETBACK FRONT: _____ REAR: _____ SIDES: _____/_____
HEIGHT _____ACCESSORY BUILDING SETBACK: FRONT: 100ft REAR: 665ft SIDES: 357ft / 300ft HEIGHT 16ft**ADDITIONAL INFORMATION INCLUDED**☐ SITE PLAN ☐ FLOOR PLAN ☐ LAND TITLE ☐ ABANDONED OIL WELL DECLARATION SIGNED☐ ALBERTA NEW HOME WARRANTY / OR PROOF OF EXEMPTION ☐ DISTANCE TO ROAD / HIGHWAY _____**ADDITIONAL INFORMATION AS REQUIRED:**☐ ELEVATIONS ☐ SOIL TESTS ☐ HOURS OF OPERATION _____☐ NUMBER OF DWELLING UNITS _____ ☐ NUMBER OF EMPLOYEES _____☐ PROPOSED BUSINESS ACTIVITIES _____☐ LANDOWNER LETTER OF AUTHORIZATION ☐ ADJACENT LANDOWNER LETTERS OF SUPPORT**MANUFACTURED HOME (MOBILE HOME)**

SERIAL NUMBER: _____ YEAR BUILT: _____ SIZE: WIDTH _____ LENGTH _____

DECLARATION

I/WE HEREBY AUTHORIZE REPRESENTATIVES OF THE COUNTY TO ENTER MY/OUR LAND FOR THE PURPOSE OF CONDUCTING A SITE INSPECTION IN CONNECTION WITH THIS APPLICATION

I/WE HEREBY DECLARE THAT THE ABOVE INFORMATION IS, TO THE BEST OF MY/OUR KNOWLEDGE, FACTUAL AND CORRECT

8/19/2024

Date

Barry Toker

SIGNATURE OF APPLICANT

NOTE:Signature of Registered
Landowner required if different
from Applicant

Date

SIGNATURE OF REGISTERED LANDOWNER / LEASEHOLDER

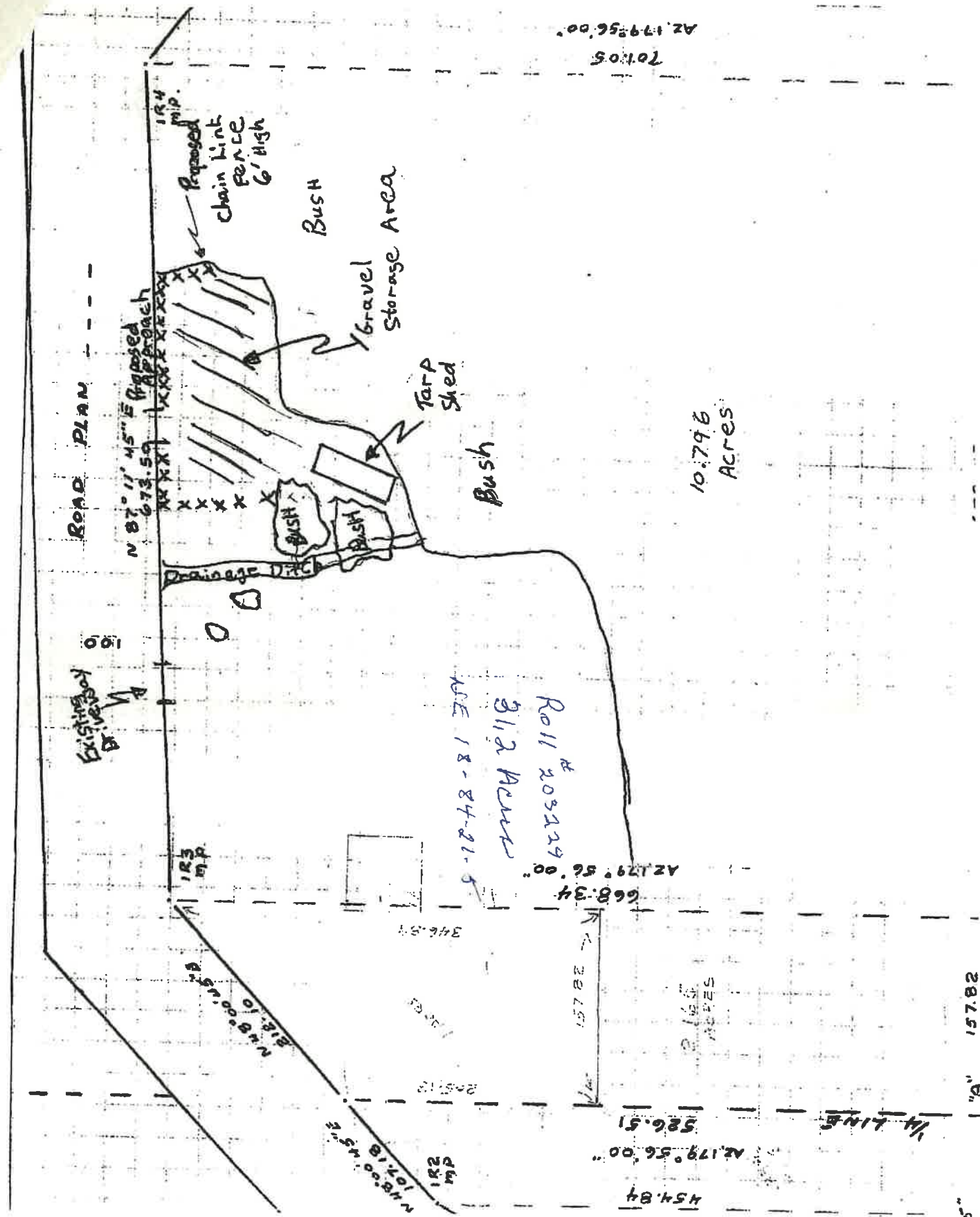
FOR ADMINISTRATIVE USELAND USE DISTRICT: Agriculture (A)FEE ENCLOSED: YES ☐ NO ☐ AMOUNT: \$ \$50.00 RECEIPT NO.: 209454

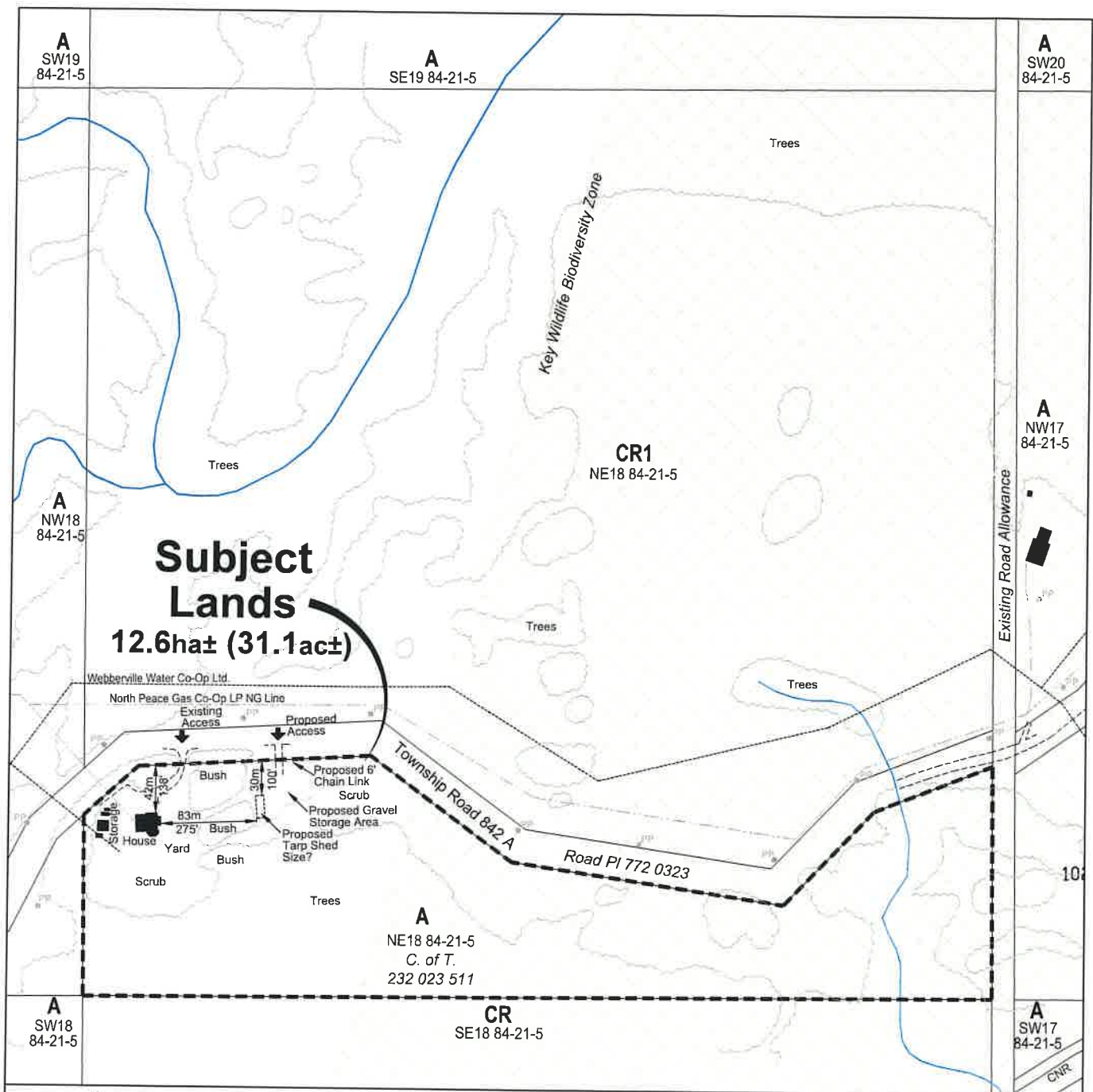
DEFINED USE: _____

PERMITTED/DISCRETIONARY: _____

VARIANCE: _____

04.B.2





LEGEND	
	Subject Lands
	Buildings/Structures
	Existing Access
	Low Pressure Natural Gas Servicing
	Webberville Water Co-Op
	ATCO Single Phase Powerline
	Creek/Drainage
	Edge of Treeline
	Key Wildlife Biodiversity Zone

DEVELOPMENT PERMIT APPLICATION

COUNTY OF NORTHERN LIGHTS

LEGAL: NE18, Twp 84, Rge 21, W5M

FILE No. DP-24-36

SCALE 1 : 5,000

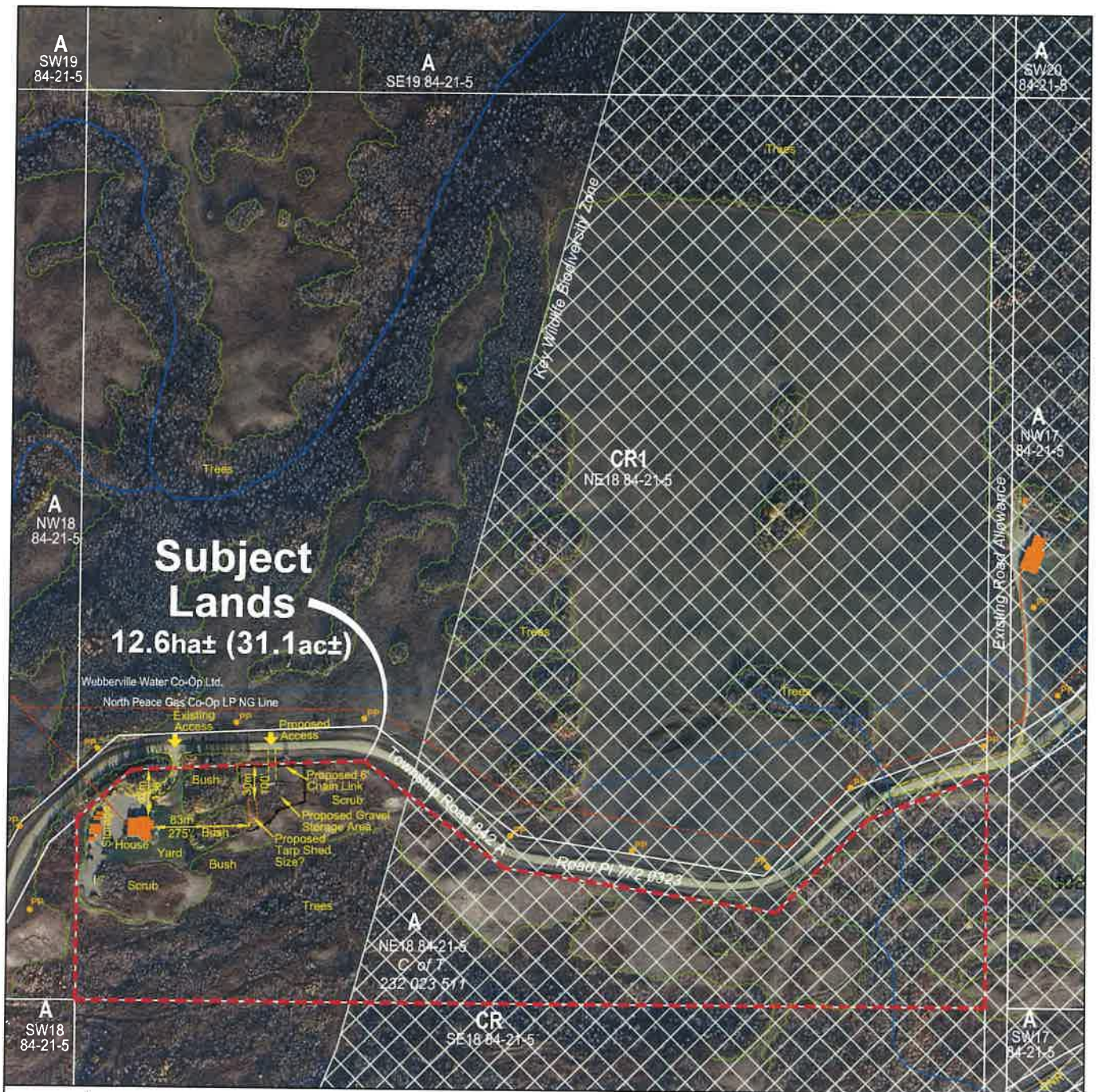
0 50 100 150 200 (m)

NOTE: Improvements located as per data supplied by owner and Abadata measurements.



September 11, 2024

04.B.2



LEGEND

- Subject Lands
- Buildings/Structures
- ★ Existing Access
- Low Pressure Natural Gas Servicing
- Webberville Water Co-Op
- ★ ATCO Single Phase Powerline
- Creek/Drainage
- Edge of Treeline
- X Key Wildlife Biodiversity Zone

DEVELOPMENT PERMIT APPLICATION

COUNTY OF NORTHERN LIGHTS

LEGAL: NE18, Twp 84, Rge 21, W5M

FILE No. DP-24-36

SCALE 1 : 5,000

0 50 100 150 200(m)

NOTE: Improvements located as per data supplied by owner and Abadata measurements.



September 11, 2024

04.B.2



County of Northern Lights
600 7th Avenue NW, Box 10, Manning, AB T0H 2M0
Phone: (780) 836-3348 Fax (780) 836-3663

RIGHT OF ENTRY BY AN AUTHORIZED PERSON FROM THE COUNTY OF NORTHERN LIGHTS FOR THE PURPOSES OF A SITE INSPECTION OF THE LAND AFFECTED BY A PROPOSED DEVELOPMENT APPLICATION.

The County Government Act, 1995, Section 542 (1) states the following:

A designated officer of the county may "enter such land or structure at any reasonable time, and carry out the inspection, enforcement or action authorized or required by the enactment or bylaw,"

IN ACCORDANCE WITH SECTION 542 (1) a OF THE COUNTY GOVERNMENT ACT, PLEASE COMPLETE THE FOLLOWING RIGHT OF ENTRY FORM AND SUBMIT WITH YOUR DEVELOPMENT APPLICATION.

I do ☒ or do not ☐ give consent for an authorized person of the County of Northern Lights to enter the land subject to a development application for the purpose of making a site inspection in order to evaluate the proposed development application.

LEGAL DESCRIPTION OF THE LAND NW 18 84 21 5

NAME (Please Print) Barry Toker

SIGNED Barry Toker

DATE 8/26/24

*****RIGHT OF ENTRY*****

04.B.2



APPLICANT STATEMENT REGARDING ABANDONED WELLS

In accordance with the Municipal Government Act Subdivision and Development Regulation

Barry Toker

_____, registered owner (or
(Please Print)

their agent) of _____ NW 18 84 21 5 _____, have consulted the Energy
(Legal Land Description)

Resources Conservation Board (ERCB) Abandoned Well Map Viewer, and verified that **there are no abandoned wells** located the property subject to this application. A copy of the ERCB map showing the subject property is attached.

Barry Toker

Signature of registered owner (or agent)

9/13/24

Date

04.B2



Memorandum

Integrated Expertise. Locally Delivered.



7909 – 51 Avenue NW, Edmonton, AB T6E 5L9 T: 780.438.9000 F: 780.438.3700

To: **Reeve and Council – County of Northern Lights** Date: **October 7, 2024**
Attention: **Mr. Gerhard Stickling, Chief Administrative Officer** Project No.: **16613**
Cc: **David Schoor**
Reference: **DP-24-35 Kolman**
From: **Deb Bonnett**

Application

The applicant proposes to construct an 83.6 m² (900 ft²) dwelling on a concrete slab (30 ft by 30 ft) and a 12 ft by 28 ft shed. The 3.7 hectare (9.09 acre) subject site is on Lot 2, Block 1, Plan 142-3041 within SE2-92-23-W5M. The proposed cabin will be 5.4 m (18 ft) in height with the following setbacks:

- 45.7 m front (east) yard adjacent to the local road
- 78.4 m south side yard
- 45.7 m north side yard, and
- 215.7 m rear (west) yard.

The dwelling will be serviced by a septic tank with a pump out. The septic tank, a cistern and an existing outdoor privy are all located in accordance with the requirements of Alberta Private Sewage Systems Standards.

Access to the subject site is from Township Road 920 and a local internal road.

Site and Surrounding Lands

The subject site is located 2.2 km west of Manning town limits and a CN Rail Branch/Spur Line right-of-way and safety fence and a 20 m Municipal Reserve (MR) lot is adjacent to the rear yard of the site. 750 trees (1 row of willows and 2 rows of spruce trees) have been planted within the MR parcel to act as a sight and sound buffer. A low pressure and high pressure gas line owned by North Peace Gas Co-op is located in the rear yard of the site.

The site is located within the Southside Notikewin Area Structure Plan (ASP), which accommodates an existing 12 lot country residential subdivision, and is designated Airport Protection (AP) District, Zone 2. The ASP and the Land Use Bylaw recommend a development setback of 15 m from a Branch and Spur Line right-of-way. The proposed development meets the 15m setback. A dwelling is considered a discretionary use in the AP District and is subject to Municipal Planning Commission (MPC) approval. The shed is considered an accessory building, which is a permitted use in the AP District.

At this time, one lot has been developed within the subdivision.



The ASP states that the subject site, and adjacent lots, are safe from flooding, erosion, subsidence and each site has a suitable building site.

The subject site and adjacent lots have are located within an environmentally sensitive area for Grizzly bears, and is within a Key Wildlife Biodiversity Zone.

There are no active or abandoned wells, record of spills or contamination within the subject site and adjacent lots.

The subject site and adjacent lots are not within an Historical Resources Value land designation, however a portion of the quarter section is HRV5 High Potential Lands, Paleontological. No response was received from Alberta Heritage and Tourism.

Compliance with Approved Plans and Land Use Compatibility

The proposed development meets the intent of the County's Municipal Development Plan (MDP), Southside Notikewin ASP, is compatible with adjacent and future land uses, and provides a front yard setback similar to the adjacent dwelling. The subject site is not within the Manning/County of Northern Lights Intermunicipal Development Plan (IDP).

Circulation Comments

The Development Permit application was circulated to various affected agencies and adjacent landowners. No issues or concerns have been received.

Recommendation

It is recommended that this application **BE APPROVED** subject to the following conditions:

1. The proposed development shall be situated on the lot in accordance with the approved site plan.
2. The owner/developer shall comply with the uses and regulations of Agriculture General (A) District.
3. The owner/developer shall contact an accredited agency contracted by Municipal Affairs to obtain the following permits or approval applicable: Building Permit – Provincial Plumbing Permit – Gas Permit – Electrical Permit . A copy of the approved permits must be submitted to the County of Northern Lights for their files.
4. The applicant/owner may be required to enter into a development agreement with the County if upgrades to the existing access is required, and shall consult with County of Northern Lights Public Works Department when installing culverts to ensure the approaches are constructed in accordance with County standards. Any costs incurred will be the responsibility of the applicant/owner.
5. Exterior finish to be wood, metal or similar siding, brick or stucco to the satisfaction of the Development Authority. The finish and appearance should complement other structures and natural site features.



Memorandum

Integrated Expertise. Locally Delivered.



6. The owner/developer shall acquire all regulatory approvals required by affected agencies, including the provision of servicing in accordance with provincial standards of practice.
7. The owner/developer shall comply with the setbacks as per the Alberta Private Sewage System Standards.
8. No further development or construction shall be allowed without an approved Development Permit.

04.B.3



DEVELOPMENT PERMIT APPLICATION FORM A

"An Agriculture Based Community"

FOR ADMINISTRATIVE USE	
APPLICATION NO.	DP 24-35
DATE RECEIVED	Aug, 16/24
ROLL NO.	314328

County of Northern Lights, # 600, 7th Ave. NW Box 10, Manning, AB, T0H 2M0
W: www.countyofnorthernlights.com | E: development@countyofnorthernlights.com | T: (780) 836-3348 | F: (780) 836-3663

I / We hereby make application under the provisions of the Land Use Bylaw for a Development Permit in accordance with the plans and supporting information submitted herewith and form part of this application. I / We understand that this application will not be accepted without the following:

- (a) application fee;
- (b) site plan sketch that includes all relevant detail to the proposed development (e.g.: proposed and existing structures, property lines, creeks/ravines, parking and vehicle access, building plans, etc.)

APPLICANT INFORMATION	COMPLETE IF DIFFERENT FROM APPLICANT
NAME OF APPLICANT <u>Tom & Anna Kolman</u>	NAME OF REGISTERED OWNER
	ADDRESS
	POSTAL CODE
	EMAIL ADDRESS*
	☒ you agree to receive correspondence by email.
	PHONE (CELL) <u>403-669-6631</u> PHONE (RES) PHONE (BUS)
	<u>(Tom)</u>

LAND INFORMATION	
Municipal Address (if applicable):	
Legal description (if applicable): Registered Plan: <u>142304</u> Block: <u>1</u> Lot (parcel): <u>2</u>	
QTR/LS: <u>SE</u> Section: <u>2</u> Township: <u>92</u> Range: <u>23</u> Meridian: <u>5</u> <u>5; 23; 92; 2; SE</u>	
Size of the Parcel to be developed <u>9.09</u> ☒ Acres or ☐ Hectares	
Description of the <u>existing</u> use of the land: <u>we are occasionally camping on the land + planting trees but want to move onto land</u>	
Proposed Development: <u>POND, shelter belt, HOME, shed</u>	
Circle any proposed uses(s): ☐ SIGN(S) ☐ CULVERT(S)/ ROAD ACCESS POINT(S) ☐ PUBLIC USE(S)/ UTILITIES ☒ DWELLING UNIT(S) ☒ ACCESSORY STRUCTURE(S)/ USE(S) ☒ SHED/GARAGE/BARN(S) ☐ HOME BASED BUSINESS ☐ COMMERCIAL OR INDUSTRIAL STRUCTURE(S)/ USES(S) ☐ OTHER (SPECIFY)	
Estimated:	Date of Commencement: <u>September 2024</u> Date of Completion: <u>October 2025</u> Value of Construction: <u>\$90,000</u>

04.B.3

PROPOSAL INFORMATION

DEVELOPMENT IS: ☒ NEW ☐ EXISTING ☐ ALTERATION TO EXISTING

LAND IS ADJACENT TO: ☐ PRIMARY HIGHWAY ☒ LOCAL ROAD ☒ INTERNAL SUBDIVISION ROAD ☐ OTHER

LOT AREA: 3.68 ha. LOT WIDTH: 133.99 LOT LENGTH: 270.56 PERCENTAGE OF LOT OCCUPIED: % ?

PRINCIPAL BUILDING SETBACK: FRONT: 150' REAR: 709' SIDES: 150 / 261 HEIGHT

ACCESSORY BUILDING SETBACK: FRONT: 250' REAR: 623' SIDES: 150 / 261 HEIGHT

ADDITIONAL INFORMATION INCLUDED

☒ SITE PLAN ☐ FLOOR PLAN ☒ LAND TITLE ☒ ABANDONED OIL WELL DECLARATION SIGNED

☒ ALBERTA NEW HOME WARRANTY ☒ OR PROOF OF EXEMPTION ☐ DISTANCE TO ROAD / HIGHWAY

ADDITIONAL INFORMATION AS REQUIRED: applied Aug 16, 2024 In process 21-28 days Owner Builder Authorization

☐ ELEVATIONS ☐ SOIL TESTS ☐ HOURS OF OPERATION

☐ NUMBER OF DWELLING UNITS ☐ NUMBER OF EMPLOYEES

☐ PROPOSED BUSINESS ACTIVITIES

☐ LANDOWNER LETTER OF AUTHORIZATION ☐ ADJACENT LANDOWNER LETTERS OF SUPPORT

MANUFACTURED HOME (MOBILE HOME)

SERIAL NUMBER: YEAR BUILT: SIZE: WIDTH LENGTH

DECLARATION

I/WE HEREBY AUTHORIZE REPRESENTATIVES OF THE COUNTY TO ENTER MY/OUR LAND FOR THE PURPOSE OF CONDUCTING A SITE INSPECTION IN CONNECTION WITH THIS APPLICATION

I/WE HEREBY DECLARE THAT THE ABOVE INFORMATION IS, TO THE BEST OF MY/OUR KNOWLEDGE, FACTUAL AND CORRECT

NOTE:

Signature of Registered
Landowner required if different
from Applicant

Aug 16, 2024
Date
Aug 16, 2024
Date

Tomas & Anna M. Kolman
SIGNATURE OF APPLICANT
Tomas Kolman Anna M. Kolman
SIGNATURE OF REGISTERED LANDOWNER / LEASEHOLDER

FOR ADMINISTRATIVE USE

LAND USE DISTRICT: Airport Protection

FEE ENCLOSED: YES ☐ NO ☐ AMOUNT: \$ \$50.00 RECEIPT NO.:

DEFINED USE:

PERMITTED/DISCRETIONARY:

VARIANCE:

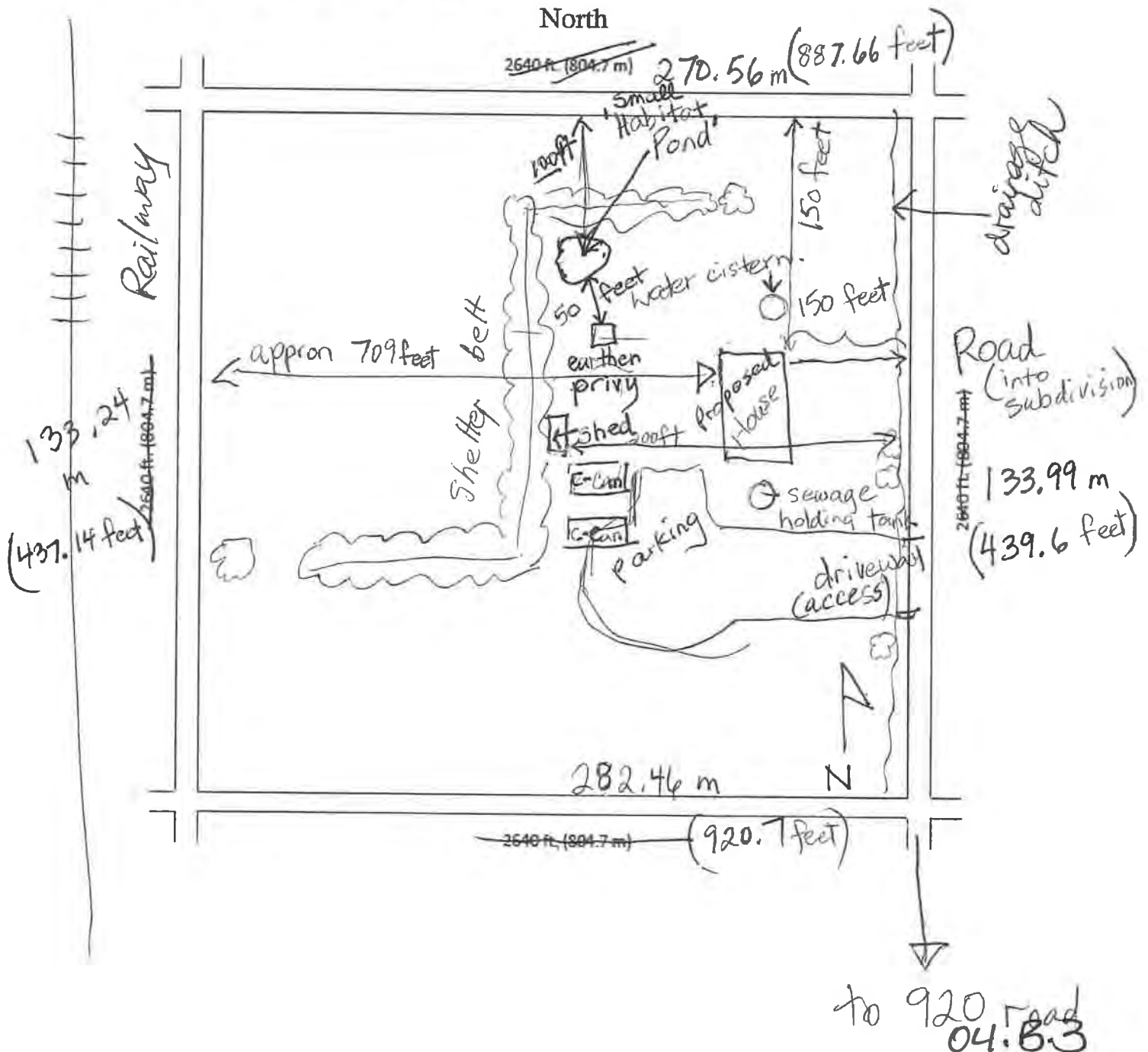
04.B.3

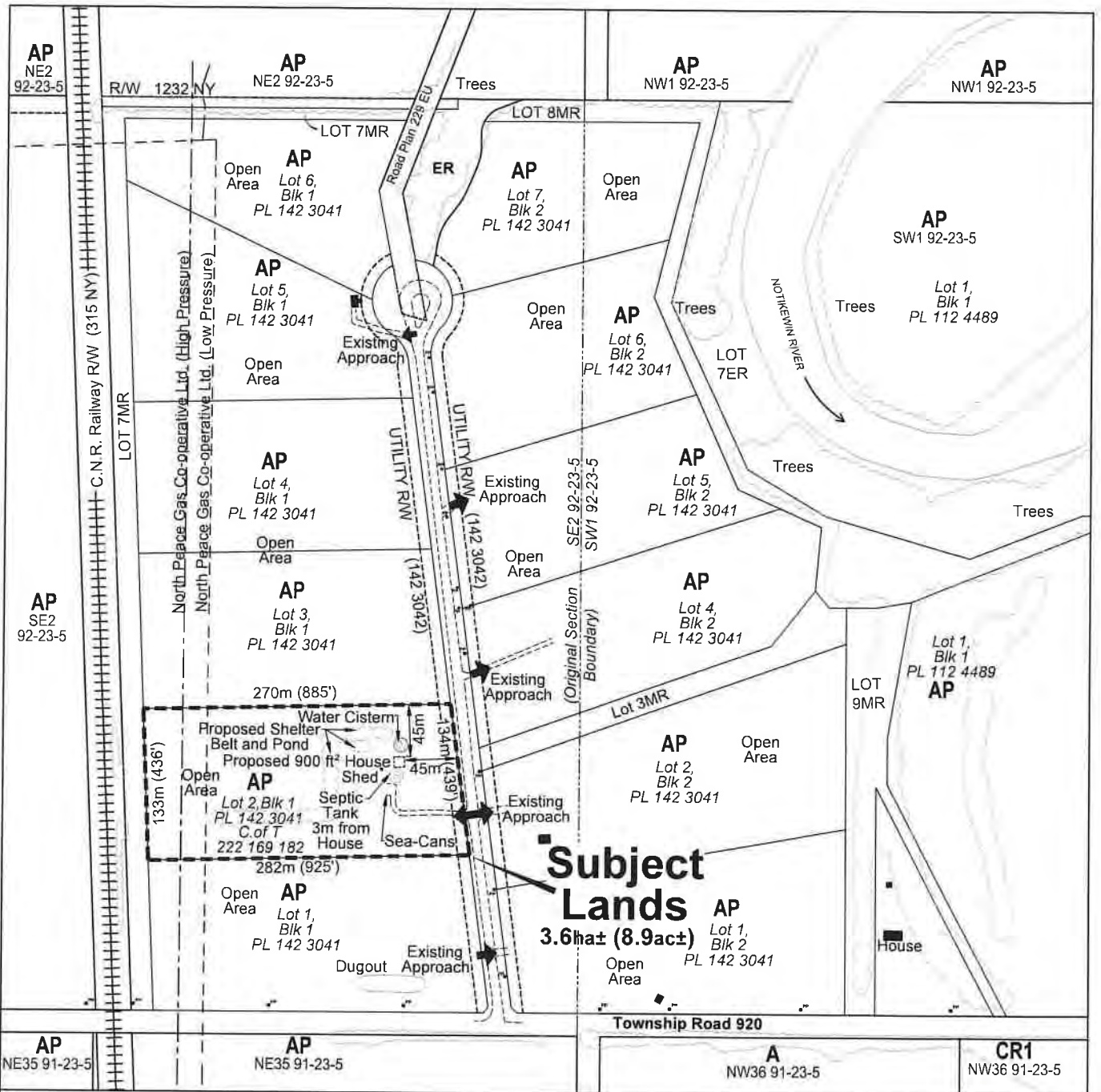
Tom & Anna Kolman

PROPOSED DEVELOPMENT SKETCH

LEGAL 142307 1/4 SEC 2 TWP 920 RG 23 W 5 M

- ✓ Parcel Boundaries/dimensions (feet, meters, etc.).
- ✓ Locate developed road allowance(s) and access points(s).
- ✓ Distance from all proposed boundary lines to all non-movable buildings (if applicable).
- ✓ Distance from residence to drinking water supply, sewage system outlet and all boundary lines (if applicable).
- ✓ Distance from sewage outlet to water supply and all boundary lines (if applicable).
- ✓ Distance from water supply to all proposed boundary lines (if applicable).
- ✓ Locate additional residence(s) on the 1/4 section (if applicable).
- ✓ Locate shelterbelts, creeks, rivers, drainage ditches, railways, etc.





DEVELOPMENT PERMIT APPLICATION

COUNTY OF NORTHERN LIGHTS

LEGAL: SE2, Twp 92, Rge 23, W5M

FILE No. DP-24-29

LEGEND

- Subject Lands
- Existing Access
- Buildings/Structures
- Edge of River
- Edge of Treeline
- Power Pole
- Water Cistern
- Low Pressure Natural Gas Servicing
- High Pressure Natural Gas
- Sewage Tank

SCALE 1 : 5,000

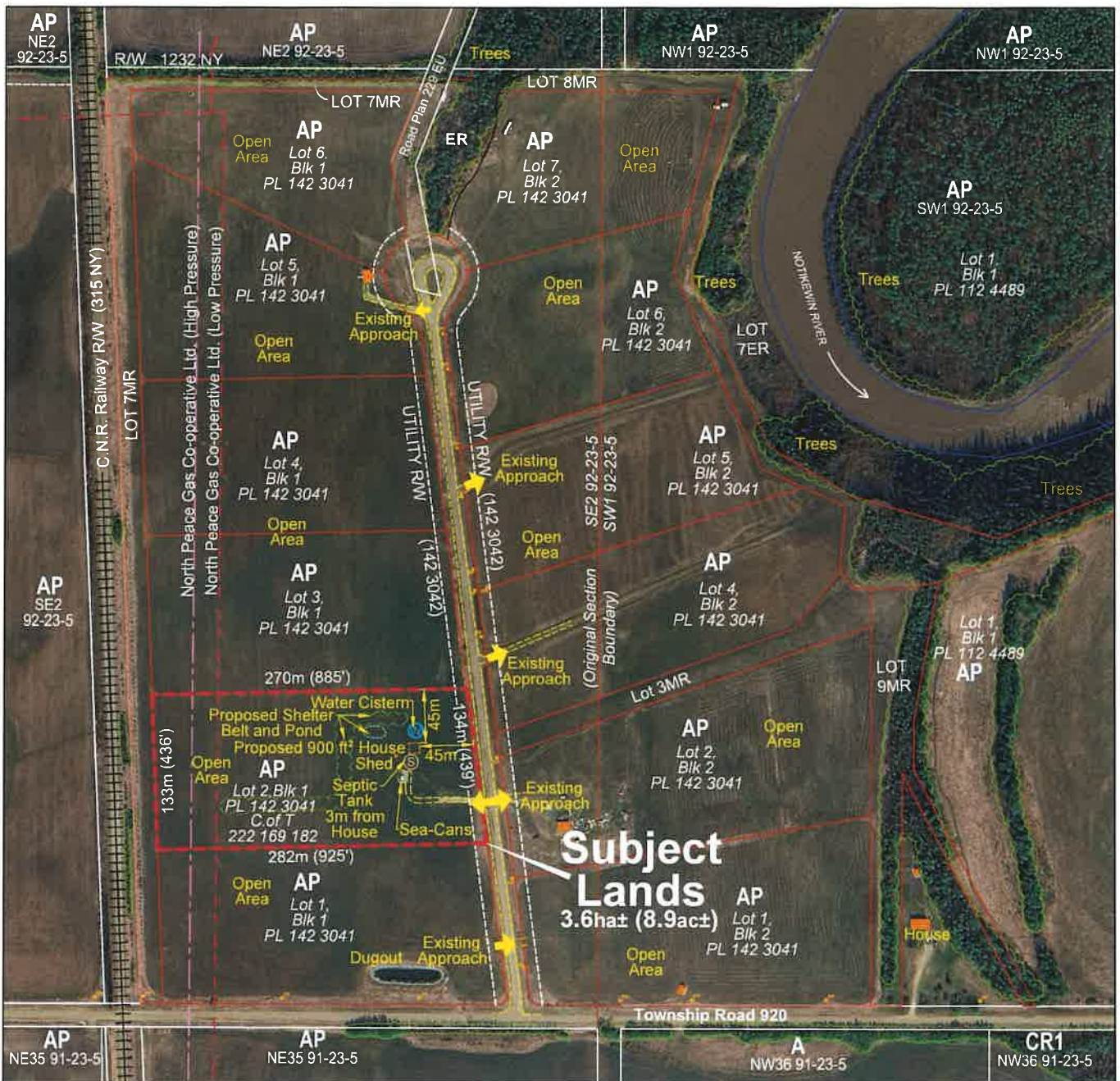
0 50 100 150 200 (m)

NOTE: Improvements located as per data supplied by owner and Abadata measurements.



September 9, 2024

04.B.3



DEVELOPMENT PERMIT APPLICATION

COUNTY OF NORTHERN LIGHTS

LEGAL: SE2, Twp 92, Rge 23, W5M

FILE No. DP-24-29

SCALE 1 : 5,000

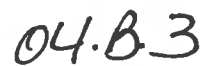
0 50 100 150 200 (m)

NOTE: Improvements located as per data supplied by owner and Abadata measurements.



September 9, 2024

04.B.3

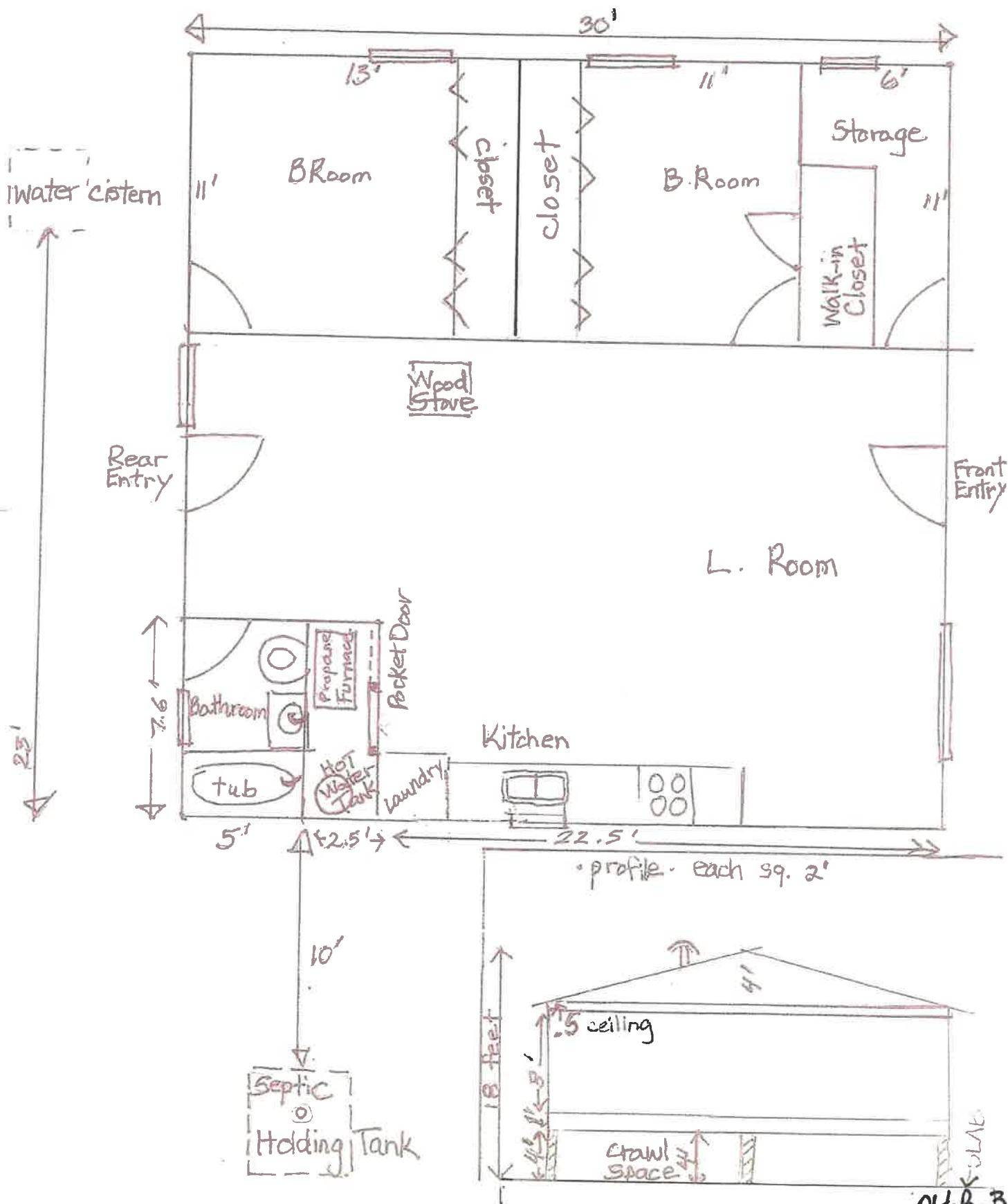


Kolman SE 2-92-23 W5M

• Plan 1423041
• Block 1
• Lot 2

NORTH

$\longleftrightarrow$
1 foot



04.B.3

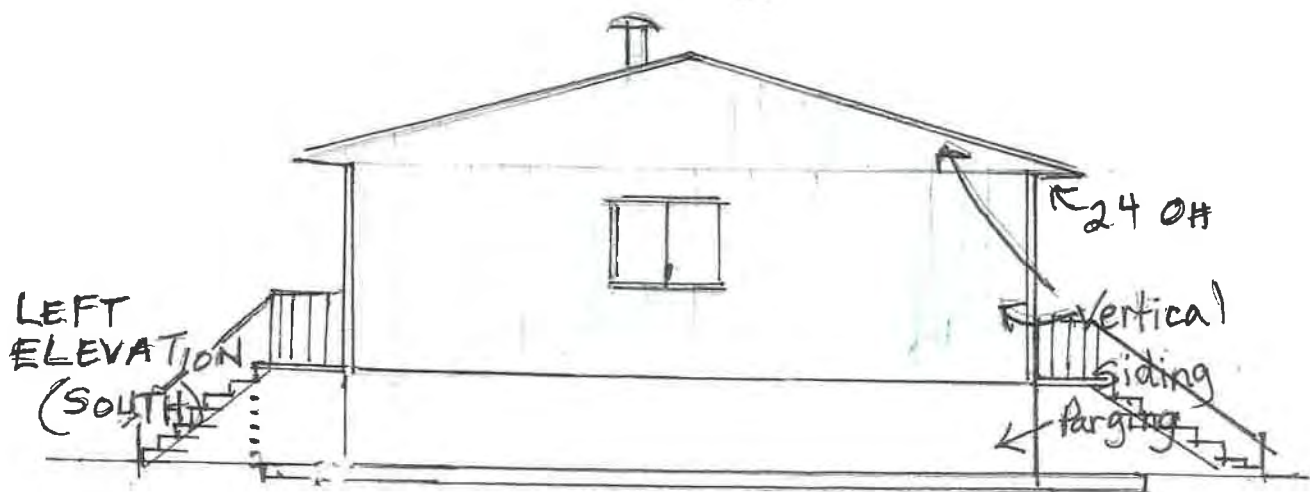
Scale $\frac{1}{4}"$ sq.
 $1\frac{1}{2}" = 2'$



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION
(SOUTH)



County of Northern Lights

600 7th Avenue NW, Box 10, Manning, AB T0H
2M0 Phone: (780) 836-3348 Fax (780) 836-3663

ADDITIONAL DEVELOPMENT INFORMATION

PLEASE INDICATE BELOW THE METHOD OF SEWAGE DISPOSAL AND TYPE OF DOMESTIC WATER SUPPLY TO BE USED IN RELATION TO YOUR DEVELOPMENT APPLICATION. PLEASE INDICATE ON THE SITE PLAN THE PROPOSED LOCATION AND DISTANCES OF YOUR WATER SUPPLY AND SEWAGE DISPOSAL FROM ALL PROPERTY LINES AND RESIDENCE.

TYPE OF DOMESTIC WATER SUPPLY (PLEASE CHECK)

- ☐ DUGOUT
- ☐ WELL
- ☐ CISTERN AND HAULING SERVICE
- ☐ COMMUNITY WELL/MUNICIPAL SERVICE
- ☒ OTHER (PLEASE SPECIFY) *HAULING WATER & CISTERN proposed*

TYPE OF DOMESTIC/COMMERCIAL SEWAGE DISPOSAL (PLEASE CHECK)

- ☐ OPEN DISCHARGE/APPROVED SEPTIC TANK
- ☐ SUB-SURFACE DISPOSAL/APPROVED SEPTIC TANK
- ☐ ABOVE GROUND MOUND/APPROVED SEPTIC TANK
- ☐ APPROVED SEWAGE LAGOON
- ☒ OUTDOOR PRIVY * *Existing*
- ☐ MUNICIPAL SERVICE
- ☒ OTHER (PLEASE SPECIFY) *HOLDING TANK proposed*

PLEASE INDICATE IF THE ABOVE INFORMATION IS:

- (a) EXISTING *
- (b) PROPOSED

FOR ADDITIONAL INFORMATION CONTACT:

MUNICIPAL AFFAIRS AND HOUSING, Public Safety Department
PEACE RIVER, AB
PHONE: 1-866-421-6929

04.B.3



APPLICANT STATEMENT REGARDING ABANDONED WELLS

In accordance with the Municipal Government Act Subdivision and Development Regulation

I, Tomas Kolman, Anna Marya Kolman, registered owner (or
(Please Print)

their agent) of Plan 1423041, Block 1, Lot 2, have consulted the Energy
(Legal Land Description)

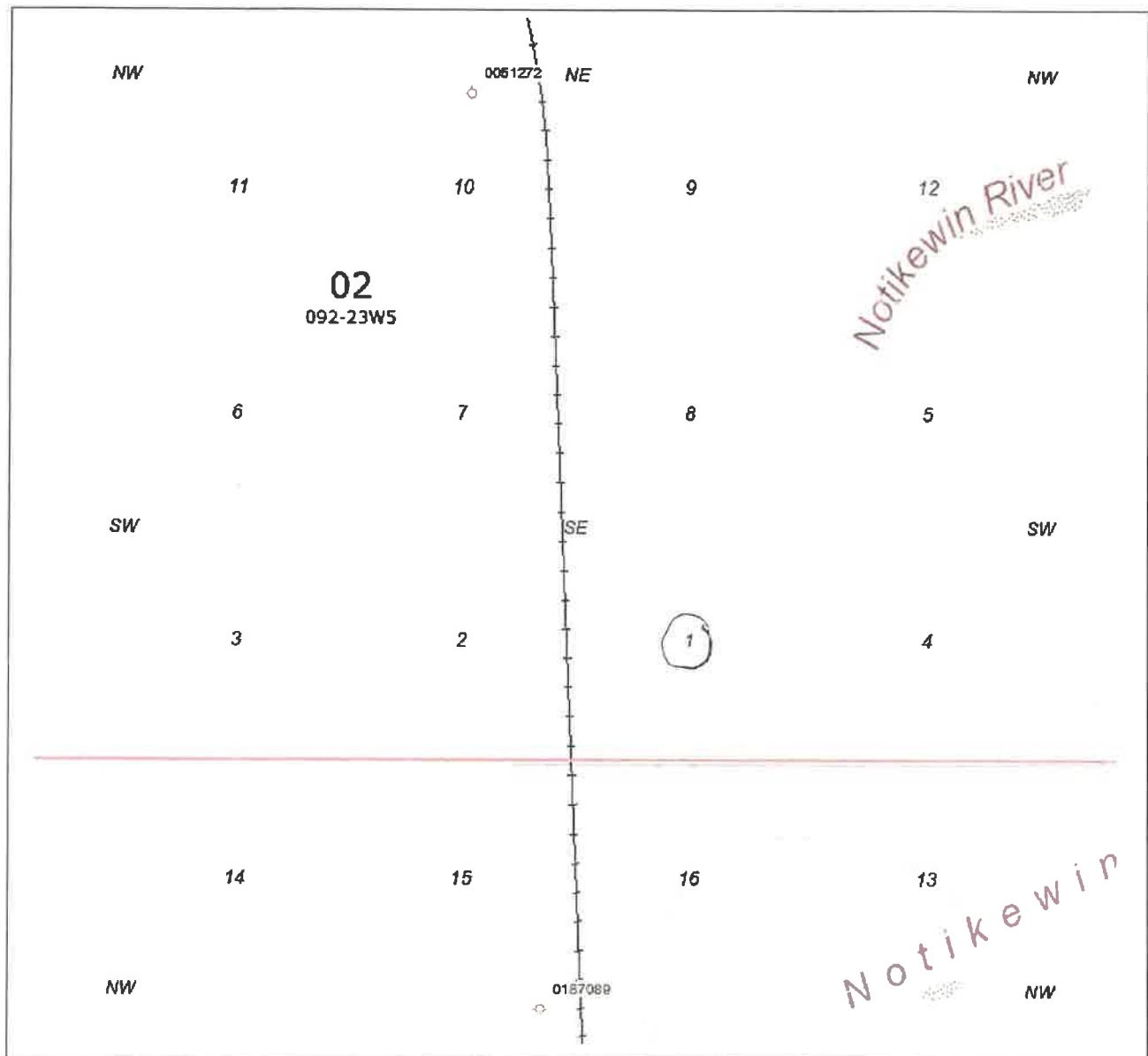
Resources Conservation Board (ERCB) Abandoned Well Map Viewer, and verified that **there are no abandoned wells** located the property subject to this application. A copy of the ERCB map showing the subject property is attached.

AER

Tom Kolman Anna Kolman
Signature of registered owner (or agent)

Aug 16, 2024 Date

04.B.3



Abandoned Well Map		Base Data provided by: Government of Alberta	
Legend ◊ Abandoned Well (Large Scale) ○ Revised Well Location (Large Scale) — Revised Location Pointer — Paved Road (20K) — Primary Divided — Primary Undivided 4L — Primary Undivided 2L — Primary Undivided 1L Interchange Ramp Secondary Divided Secondary Undivided 4L		Author: XXX	Printing Date: 8/16/2024
		Date Date (if applicable)	
		The Alberta Energy Regulator (AER) has not verified and makes no representation or warranty as to the accuracy, completeness, or reliability of any information or data in this document or that it will be suitable for any particular purpose or use. The AER is not responsible for any inaccuracies, errors or omissions in the information or data and is not liable for any direct or indirect losses arising out of any use of this information. For additional information about the limitations and restrictions applicable to this document, please refer to the AER Copyright & Disclaimer webpage: http://www.aer.ca/copyright-disclaimer .	Scale: 18,055.95 0.25 Kilometers
		Projection and Datum: WGS84 Web Mercator Auxiliary Sphere	

04.B.3